

Agenda

County of Inyo Planning Commission

Board of Supervisors Room
Inyo County Administrative Center
Independence, California

FRANK STEWART
CAITLIN (KATE) J. MORLEY
TODD VOGEL
SCOTT STONER
SCOTT KEMP

FIRST DISTRICT (CHAIR)
SECOND DISTRICT
THIRD DISTRICT (VICE CHAIR)
FOURTH DISTRICT
FIFTH DISTRICT

Inyo County Planning Commission
Post Office Drawer L
Independence, CA 93526
(760) 878-0263
(760) 872-2712 FAX
inyoplanning@inyocounty.us

CATHREEN RICHARDS
PAULA RIESEN
MICHAEL ERRANTE
CLINT QUILTER
JOHN VALLEJO

PLANNING DIRECTOR
PROJECT COORDINATOR
PUBLIC WORKS DIRECTOR
COUNTY ADMINISTRATOR
ASSISTANT COUNTY COUNSEL

Items will be heard in the order listed on the agenda unless the Planning Commission rearranges the order or the items are continued. Estimated start times are indicated for each item. The times are approximate and no item will be discussed before its listed time.

Lunch Break will be given at the Planning Commission's convenience.

The Planning Commission Chairperson will announce when public testimony can be given for items on the Agenda. The Commission will consider testimony on both the project and related environmental documents.

The applicant or any interested person may appeal all final decisions of the Planning Commission to the Board of Supervisors. Appeals must be filed in writing to the Inyo County Board of Supervisors within 15 calendar days per ICC Chapter 15 [California Environmental Quality Act (CEQA) Procedures] and Chapter 18 (Zoning), and 10 calendar days per ICC Chapter 16 (Subdivisions), of the action by the Planning Commission. If an appeal is filed, there is a fee of \$300.00. Appeals and accompanying fees must be delivered to the Clerk of the Board Office at County Administrative Center Independence, California. If you challenge in court any finding, determination or decision made pursuant to a public hearing on a matter contained in this agenda, you may be limited to raising only those issues you or someone else raised at the public hearing, or in written correspondence delivered to the Inyo County Planning Commission at, or prior to, the public hearing.

Public Notice: In Compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting please contact the Planning Department at (760) 878-0263 (28 CFR 35.102-3.104 ADA Title II). Notification 72 hours prior to the meeting will enable the County to make reasonable arrangements to ensure accessibility to this meeting. Should you because of a disability require appropriate alternative formatting of this agenda, please notify the Planning Department 2 hours prior to the meeting to enable the County to make the agenda available in a reasonable alternative format (Government Code Section 54954.2).

May 29, 2019

**10:00
A.M.**

- 1. PLEDGE OF ALLEGIANCE.**
- 2. ROLL CALL** – Roll Call to be taken by staff.
- 3. PUBLIC COMMENT PERIOD** – This is the opportunity for anyone in the audience to address the Planning Commission on any planning subject that is not scheduled on the Agenda.

Action

- 4. APPROVAL OF MINUTES** – Approval of minutes from the April 24, 2019 Planning Commission Meeting.

**Action
Item
Public
Hearing**

- 5. NON-HOSTED SHORT-TERM RENTAL PERMIT NO. 2018-18/SEITER** - The applicant has applied for a Non-hosted Short-Term Vacation Rental Permit. The applicant has met all requirements, and been approved by the Planning Department, for a Hosted Short-Term Vacation Rental Permit. The applicant is also seeking a Non-hosted Short-Term Rental Permit, with approval from the Planning

Commission.

Action
Item
Public
Hearing

6. **NON-HOSTED SHORT-TERM RENTAL PERMIT NO. 2019 - 01/CUMMINGS** - The applicant has applied for a Non-hosted Short-Term Vacation Rental Permit. The applicant has met all requirements, and has been approved by the Planning Department, for a Hosted Short-Term Vacation Rental Permit. The applicant is also seeking a Non-hosted Short-Term Rental Permit, with approval from the Planning Commission.

Action
Public
Hearing

7. **NON-HOSTED SHORT-TERM RENTAL PERMIT NO. 2019 - 02/KOLKER** - The applicant has applied for a Non-hosted Short-Term Vacation Rental permit, located at 3504 Ranch Road, in Bishop. This permit is required for the applicant to begin renting residential space for periods of 30-days or less, and to achieve compliance with Inyo County Code Chapter 18.73.

Action
Item
Public
Hearing

8. **CONDITIONAL USE PERMIT (CUP) 2019-02/ SAC WIRELESS-VERIZON/TELECOM UPDATE 2019-01 SAC WIRELESS-VERIZON** - SAC Wireless, representing Verizon Wireless, has submitted an application to update Verizon's existing Telecom Plan and request a Conditional Use Permit to construct a 100 foot Mono-pole tower. The Tower will have a pine tree façade housing nine 6 foot tall antenna and two 6 foot tall microwave antennas, at 950 Tu Su Lane, on property owned by Richard and Alice Cassel with a Tax Assessor Parcel Number (APN 011-120-64).

Action
Item
Public
Hearing

9. **TELECOM UPDATE 2019-02/ SPRINT** – The applicant has applied for approval of a Wireless Communication Plan (Telecom Plan) as required by Inyo County Code Section 18.76. The Telecom Plan covers 3 sites. 2 sites, located in Bishop and near Olancho, are already operational, allowed by previous approvals from Inyo County and the City of Bishop, but have not previously been identified as operated by Sprint through the Telecom Plan process. The other site is a proposed co-location on an existing telecommunications tower owned by SBA Communications and located at 20 Gill Station Road at Coso Junction.

Action
Item
Public
Hearing

10. **VARIANCE 2019-01/VAN STARRENBURG** – The applicant Joost Van Starrenburg has applied for a variance for a single-family dwelling to encroach 9-feet into the required 20-foot side yard setback for a property zoned Rural Residential (RR), and located at 557 Sunset Drive, in the Alabama Hills, Lone Pine. This project is Exempt under CEQA.

COMMISSIONERS' REPORT/COMMENTS

Commissioners to give their report/comments to staff.

PLANNING DIRECTOR'S REPORT

Planning Director, Cathreen Richards, will update the Commission on various topics.

CORRESPONDENCE – INFORMATIONAL

COUNTY OF INYO

PLANNING COMMISSION

MINUTES OF APRIL 24, 2019 MEETING

COMMISSIONERS:

FRANK STEWART
CAITLIN (KATE) J. MORLEY
TODD VOGEL
SCOTT STONER
SCOTT KEMP

FIRST DISTRICT (CHAIR)
SECOND DISTRICT
THIRD DISTRICT (VICE)
FOURTH DISTRICT
FIFTH DISTRICT

Inyo County Planning Commission
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STAFF:

CATHREEN RICHARDS
JOHN VALLEJO
TOM SCHANIEL
RYAN STANDRIDGE
PAULA RIESEN
CLINT QUILTER
MIKE ERRANTE

PLANNING DIRECTOR
COUNTY COUNSEL
ASSOCIATE PLANNER
ASSISTANT PLANNER
PROJECT COORDINATOR
COUNTY ADMINISTRATOR
PUBLIC WORKS DIRECTOR

The Inyo County Planning Commission met in regular session on Wednesday, April 24, 2019, in the Administration Building, in Independence, California. Commissioner Stewart opened the meeting at 10:00 a.m.
These minutes are to be considered for approval by the Planning Commission at their next scheduled meeting.

ITEM 1: **PLEDGE OF ALLEGIANCE** – All recited the Pledge of Allegiance at 10:00 a.m.

ITEM 2: **ROLL CALL** - Commissioners: Frank Stewart, Caitlin Morley, Scott Stoner, were present.

Staff present: Cathreen Richards, Planning Director; Ryan Standridge, Assistant Planner; Tom Schaniel, Associate Planner, John Vallejo, County Counsel, and Paula Riesen, Project Coordinator.

Staff absent: Clint Quilter, County Administrator; Michael Errante, Public Works Director.

ITEM 3: **PUBLIC COMMENT PERIOD** – This item provides the opportunity for the public to address the Planning Commission on any planning subject that is not scheduled on the Agenda.

Chair Stewart opened the Public Comment Period at 10:01 A.M. There was no one from the public who wished to comment on any planning subject that was not scheduled on the Agenda. Chair Stewart closed the public comment period at 10:01 A.M.

ITEM 4: **APPROVAL OF MINUTES (Action Item)** – Approval of Minutes from February 27, 2018, meeting of the Planning Commission.

MOTION: Moved by Commissioner Scott Stoner and seconded by Chair Frank Stewart to approve the Minutes from February 27, 2018.

The Motion passed 3-0.

ITEM 5: **NON-HOSTED SHORT-TERM RENTAL PERMIT NO. 2018-07/JELLISON** -The applicant has applied for a Non-hosted Short-Term Vacation Rental permit, located at 2476 and 2478 Dixon Lane, in Bishop. This permit is required for the applicant to begin renting residential space for periods of 30-days or less, and to achieve compliance with Inyo County Code Chapter 18.73

Mrs. Standridge, Assistant Planner, presented the staff report.

Chair Stewart opened the Public Hearing at 10:05 a.m.

- Robert Jellison got up and thanked the Planning Department for all of their work.

Chair Stewart closed the Public Hearing at 10:06 a.m.

Moved by Chair Stewart and seconded by Commissioner Kate Morley to approve the **NON-HOSTED SHORT-TERM RENTAL PERMIT NO. 2018-07/Jellison** as presented by staff.

MOTION: The Motion passed 3-0.

ITEM 6: **NON-HOSTED SHORT-TERM RENTAL PERMIT NO. 2018-15/DAVIDSON** -The applicant has applied for a Non-hosted Short-Term Vacation Rental permit, located at 260 S Mount Whitney, in Lone Pine. This permit is required for the applicant to begin renting residential space for periods of 30-days or less, and to achieve compliance with Inyo County Code Chapter 18.73

Mrs. Standridge, Assistant Planner, presented the staff report. Then handed out complaint received by Planning Department from Kristi Van Kopp who opposed the permit with reasons listed.

Chair Stewart opened the Public Hearing at 10:08 a.m.

After discussion of the concerns from Ms. Van Kopp the hearing closed at 10:13 a.m.

Moved by Chair Stewart and seconded by Commissioner Kate Morley to approve the **NON-HOSTED SHORT-TERM RENTAL PERMIT NO. 2018-15/Davidson** as presented by staff.

MOTION: The Motion passed 3-0.

ITEM 7: **CONDITIONAL USE PERMIT (CUP) 2019-04/SIGN DEVELOPMENT INC-** The applicant has applied for a CUP for a new business and digital fuel station sign that is replacing an existing business and analog fuel station sign. This use permit is part of a larger project that consists of refreshing the signage at the Independence Shell Station, which is located at 350 S. Edwards Street in the community of Independence. The sign is proposed to be electronic in nature, with digital displays that display pricing for various grades of fuel. The Inyo County Code requires that electronic signs in the Central Business (CB) zoning, which is the zoning of this property, obtain a conditional use permit. This project is categorically exempt from the requirements of the California Environmental Quality Act under CEQA Guidelines 15301, Existing Facilities – Class 1.

Mr. Tom Schaniel, Associate Planner presented staff report.

Chair Stewart opened the Public Hearing at 10:15 a.m.

No one from the public wished to speak the hearing closed at 10:20 a.m.

MOTION: Moved by Chair Frank Stewart and seconded by Commissioner Scott Stoner to approve the proposed Conditional Use Permit as presented by staff.

The Motion passed 3-0

ITEM 8: **CONDITIONAL USE PERMIT (CUP) 2019-05/SIGN DEVELOPMENT INC-**The applicant has applied for a CUP for a new business and digital fuel station sign that is replacing an existing business and analog fuel station sign. This use permit is part of a larger project that consists of refreshing the signage at the Lone Pine Shell Station (co-located with the Lone Pine Carl's Jr. Restaurant), which is located at 401 N. Main Street in the community of Lone Pine. The sign is proposed to be electronic in nature, with digital displays that display pricing for various grades of fuel. The Inyo County Code requires that electronic signs in the Central Business (CB) zoning, which is the zoning of this property, obtain a conditional use permit. This project is categorically exempt from the requirements of the California Environmental Quality Act under CEQA Guidelines 15301, Existing Facilities – Class 1.

Mr. Tom Schaniel, Associate Planner presented staff report.

Chair Stewart opened the Public Hearing at 10:20 a.m.

No one from the public wished to speak the hearing closed at 10:23 a.m.

MOTION: Moved by Commissioner Scott Stoner and seconded by Commissioner Kate Morley to approve the proposed Conditional Use Permit as presented by staff.

The Motion passed 3-0

ITEM 9: **ZONE TEXT AMENDMENT (ZTA) 2019-01/INYO COUNTY – COMMERCIAL CANNABIS** - The County of Inyo is proposing to amend sections of the County Zoning Ordinance, set forth in Title 18 of the Inyo County Code, to amend and add definitions and to adjust a procedural requirement related to Commercial Cannabis Activities. This project is Exempt from CEQA under the General Rule.

Ms. Richards, Planning Director, presented the staff report. Stating that this is primarily a definitions change, to add consistency to match.

Chair Stewart opened the Public Hearing at 10:26 a.m.

No one from the public wished to speak the hearing closed at 10:30 a.m.

Moved by Chair Stewart and seconded by Commissioner Scott Stoner to approve the **ZONE TEXT AMENDMENT (ZTA) 2019-01/INYO COUNTY – COMMERCIAL CANNABIS**.

MOTION: The Motion passed 3-0

ITEM 10: **SHORT TERM RENTAL UPDATE** - Staff will hold a Workshop with the Planning Commission on the status of short-term rentals in Inyo County, approximately one year after accepting applications.

Mr. Tom Schaniel, Associate Planner presented staff report.

Chair Stewart stated that the complaints about Short Term Rentals show a lot of smoke but not much fire to the claims, does not seem to be affecting the motels TOT Tax either.

Chair Frank Stewart thanked Mr. Schaniel for a great presentation.

COMMISSIONERS' REPORT/COMMENTS –

Commissioners to give their report/comments to staff.

DIRECTOR'S REPORT -

Cathreen Richards presented to Planning Commission the email reminder for Spring run-off warnings to the County.

ADJOURNMENT –

With no further business, Chair Stewart made a motion to adjourn the meeting at 11:30 a.m., and for the Commission to reconvene at the May 29, 2019 meeting, at 10:00 a.m. in the Board of Supervisors Room, Administrative Center, Independence, California.

Motion by Chair Frank Stewart to Adjourn.

Seconded by Commissioner Kate Morley.

Motion passed 3-0.

Prepared by:
Paula Riesen
Inyo County Planning Department

DRAFT



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AGENDA ITEM NO.: 5 (Action Item – Public Hearing)

**PLANNING COMMISSION
 MEETING DATE:** May 29, 2019

SUBJECT: Non-Hosted Short-Term Rental Permit No. 2018-18/Seiter

EXECUTIVE SUMMARY

The applicant has applied for a non-hosted short term vacation rental permit, located at 155 N. Mt. Whitney Drive, in Lone Pine. This permit is required for the applicant to begin renting residential space for periods of 30-days or less, and to achieve compliance with Inyo County Code Chapter 18.73.

PROJECT INFORMATION

Supervisory District: 5

Project Applicant: Marian Seiter

Site Address: 155 N. Mt. Whitney Ave., Lone Pine, CA 93545

Community: Lone Pine, CA

A.P.N.: 005-073-05

General Plan: Residential Medium Density (RM)

Zoning: Single Residential OR Mobile Home combined

Size of Parcel: 0.17 acres

SURROUNDING LAND USE:

Location:	Use:	Gen. Plan Designation	Zoning
Site	Developed	Residential Medium Density (RM)	Single Residence/Mobile home combined-5,800 sq ft ² min (RMH)
North	Developed	Residential Medium Density (RM)	Single Residence/Mobile home combined-5,800 sq ft ² min (RMH)
East	Developed	Residential Medium Density (RM)	Single Residence/Mobile home combined-10,000 sq ft ² min (RMH)
South	Developed	Residential Medium-High Density (RMH)	Single Residence/Mobile home combined-5,800 sq ft ² min (RMH)

West	Undeveloped	Residential Low Density (RL)	Single Residence/Mobile home combined-10,000 sq ft ² min (RMH)
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Staff Recommended Action: 1.) Approve the Non-Hosted Short-Term Vacation Rental Permit 2018-18/Seiter

Alternatives:

- 1.) Deny the Non-Hosted Short-Term Vacation Rental Permit
- 2.) Approve the Non-Hosted Short-Term Vacation Rental Permit with additional conditions of approval
- 3.) Continue the public hearing to a future date, and provide specific direction to staff regarding what additional information and analysis is needed.

Project Planner: Steve Karamitros

STAFF ANALYSIS

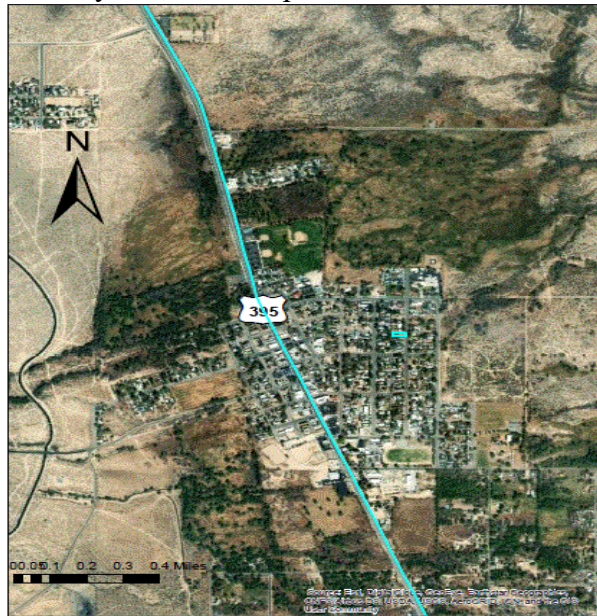
Background and Overview

The applicant has applied for and received a Hosted Short-Term Vacation Rental Permit from the Inyo Planning Department, for the residence located at 155 N. Mt. Whitney Dr., in Lone Pine. This is a primary residence where the applicants live full time. The applicants have also applied for Non Hosted Short-Term Vacation Rental for the accessory dwelling unit, approximately 512 ft², located behind the primary residence. This structure was built in compliance with the standards set by the Inyo County Building and Safety Department and the Inyo County Environmental Health Department.

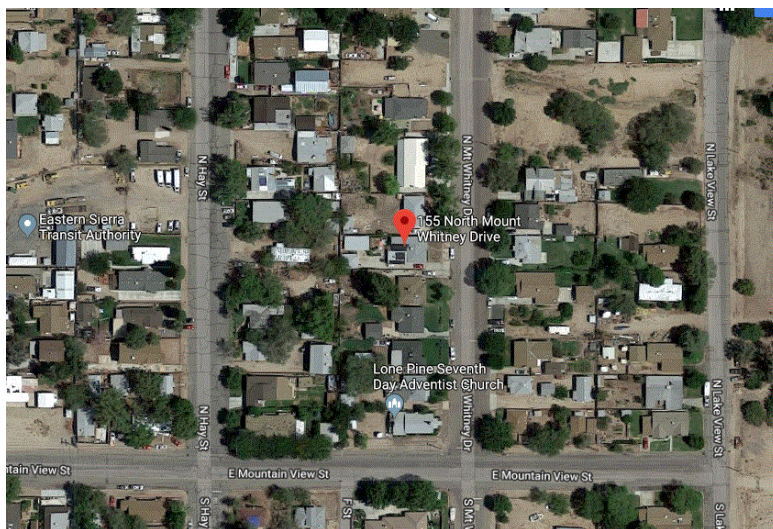
The proposed application for a Non-Hosted Short-Term Vacation Rental Permit aligns with Inyo County Code Section 18.73-*Short-Term Rental of Residential Property*, which allows for the rental of dwelling units where the owner of the dwelling unit does not concurrently occupy the dwelling unit with the transient lodger. The application for this non-hosted rental has met the requirements of the Inyo County Planning Department and, per County Code Section 18.73.060, now requires that the Inyo County Planning Commission give final approval in order to issue the Non-Hosted Short-Term Vacation Rental Permit.

The residence is in a location surrounded by residential housing to the north, south, east and west, which are privately owned. The residence is located in Lone Pine, California.

Vicinity Location Map



Residential location for non-hosted rental



General Plan Consistency

The goal of this review is to allow the applicant to rent residential space in compliance with the County's zoning ordinance. The project is consistent with the Short-Term Rental Ordinance, which was added as Chapter 18.73 of the Inyo County Code, following approval by the Inyo County Board of Supervisors on February 20, 2018. This use will not conflict with the General Plan designation of Residential Medium Density (RM) as it does not change the size or density of the residential development currently on the site and in the General Plan.

Zoning Ordinance Consistency

The applicant's residence is zoned Single Residence OR Mobile home combined (RMH), which is defined as an eligible zoning area for short term rentals. The current use will not change and therefore remains consistent with the current zoning ordinance.

ENVIRONMENTAL REVIEW

As per Section Two of the approved County Ordinance (Chapter 18.73), the Non-Hosted Short-Term Rental Permit 2018-18/Seiter was reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA guidelines, and the County's environmental procedures, and was found to be exempt pursuant to Section 15061(b)(3) (general rule) of the CEQA guidelines, as it constitutes an extension of residential use, with no new development, and can be seen with certainty that there will be no significant effect on the environment.

Residents within 300 feet of the proposed rental were notified that an application for short-term rental was being submitted. These residents were notified following approval of the Hosted Short Term Rental permit and no complaints were filed. Inyo County staff noticed these residents regarding the public hearing date. Public notification of the hearing date was published in the Inyo Register on May 4, 2019.

RECOMMENDATION

Planning Department staff recommends the approval of Non-Hosted Short-Term Vacation Rental Permit 2018-18/Seiter, with the following Findings and Conditions of Approval:

FINDINGS:

1. The proposed Non-Hosted Short-Term Vacation Rental Permit is exempted from further CEQA review, and the provisions of the California Environmental Quality Act have been satisfied.
[Evidence: Pursuant to Section 15061(b)(3) (general rule) of the CEQA guidelines, the proposed permit application constitutes an extension of residential use and can be seen with certainty that there will be no significant effect on the environment.]
2. The proposed Non-Hosted Short-Term Vacation Rental Permit is consistent with the Inyo County General Plan Land Use Designation of Residential Medium Density (RM).
[Evidence: The proposed project is consistent with the goals and policies of the General Plan's Land Use designation of Residential Medium Density, which allows for 4.6 – 7.5 dwelling units per acre. The applicant's proposal is to have one dwelling unit for rent on a 0.17 acre parcel, which is consistent with Inyo County's General Plan designation for this property.]
3. The proposed Non-Hosted Short-Term Vacation Rental Permit is consistent with the Inyo County Zoning Ordinance.
[Evidence: The approved ordinance of Short-Term Rentals (Transient Occupancy – a rental for 30-Days or less), as adopted by the Board of Supervisors on February 20, 2018, allows for the short-term rental of residential dwellings in the Zoning Districts of: One Family Residential (R1), Single Residence and Mobile Home Combined (RMH), Rural Residential (RR), Rural Residential Starlite Estates (RR- Starlite), and the Open Space Zone (OS). The applicant's property is zoned Single Residence or Mobile Home Combined and is therefore consistent with Inyo County's zoning ordinance.]
4. The proposed Non-Hosted Short-Term Vacation Rental Permit is necessary or desirable.
[Evidence: With the proliferation of Short-Term Vacation Rentals through on-line hosts, such as Air B&B, etc., the Board of Supervisors found it necessary and desirable to create an ordinance that regulated transient occupancy. In 2006 the Board of Supervisors approved with findings by Inyo County staff, related to transient occupancy, and issued a finding that stated "one family residential zone districts do not allow for short-term, transient accommodation uses as a primary permitted use, a conditional use or an accessory use; therefore, short-term transient accommodation uses in a one

family residence zones is in violation of the - One Family Zone District as set forth in the Inyo County Code Section 18.30.” This decision guided the Planning Department’s efforts in designing an ordinance for short-term vacation rentals in residentially zoned areas. The proposed non-hosted vacation rental permit application is consistent with the requirements stipulated in the short-term rental ordinance, as adopted by the Board of Supervisors in February 2018.]

5. The proposed Non-Hosted Short-Term Vacation Rental Permit is properly related to other uses and transportation and service facilities in the vicinity.
[Evidence: The proposed Non-Hosted Short-Term Vacation Rental Permit is properly related to transportation and service facilities and will not adversely affect these facilities. All completed applications for Hosted/Non-Hosted Short-Term Rental Permits require site plans that demonstrate the availability of on-site parking at the applicant’s residence. This will avoid burdens to Inyo County maintained roads, in this case N. Mt. Whitney Drive, in Lone Pine.]
6. The proposed Non-Hosted Short-Term Vacation Rental Permit would not under all the circumstances of this case, affect adversely the health or safety of persons living or working in the vicinity or be materially detrimental to the public welfare.
[The proposed Non-Hosted Short-Term Vacation Rental Permit does not adversely affect public health or safety of persons living in the vicinity. The Inyo County Public Health Department evaluated the application for sewer, septic, and water issues and found no problems with the application. The rental unit, a 512 ft² guest house, was evaluated by the County’s Building and Safety Department and no problems were identified.]
7. Operating requirements necessitate the proposed Non-Hosted Short-Term Vacation Rental Permit for the site.
[Evidence: Use of the applicant’s property for non-hosted short-term rental requires the Non-Hosted Short-Term Vacation Rental Permit, as per Chapter 18.73 of the Inyo County Code.]

CONDITIONS OF APPROVAL

1. Hold Harmless
The applicant shall defend, indemnify and hold harmless Inyo County agents, officers, and employees from any claim, action or proceeding against the County or its agents, officers, or employees to attack, set aside, void or annul an approval of the county, its advisory agencies, its appeals board, or legislative body concerning Non-Hosted Short-Term Vacation Rental Permit No. 2018-18/ Seiter. The County reserves the right to prepare its own defense.
2. Compliance with County Code
The applicant shall conform to all applicable provisions of Inyo County Code. If the use provided by this Non-Hosted Short-Term Vacation Rental Permit is not established within one year of the approval date it will be become void.

SUBJECT PROPERTY PHOTO ADDENDUM

Borrower: SEITER, MARIAN	File No.: .55NMOUNTWHITNEYDR	
Property Address: 155 N. MT. WHITNEY DRIVE	Case No.:	
City: LONE PINE	State: CA	Zip: 93545
Lender: ALTA ONE FEDERAL CREDIT UNION		



FRONT VIEW OF
SUBJECT PROPERTY

Appraised Date: April 11, 2011
Appraised Value: \$ 195,000



REAR VIEW OF
SUBJECT PROPERTY



STREET SCENE

Short Term Rental Agreement

155 N. Mt. Whitney Drive and 157 N. Mt. Whitney Drive, Lone Pine

Welcome to your new studio while you visit our beautiful area. Owner, Marian Seiter is available at all times to answer questions and make suggestions on things to do in our area. She lives in the main house on the property and you are welcome to knock on the kitchen door located on the driveway side of the house.

To keep this property environmentally safe and in compliance with Inyo County rules of occupancy for a non-hosted rental, please respect and adhere to the following:

- 1. No pesticides of any kind may be used inside or outside unit.**
- 2. No Smoking allowed. No pets allowed.**
- 3. Garbage containers are located on the driveway. Please use the blue bins for recycling glass, cans, and plastic. All other garbage place in Preferred Disposal bin.**
- 4. Outdoor fires are prohibited.**
- 5. Outdoor amplified sound is prohibited.**
- 6. Quiet hours shall be from 9:00 p.m. to 7:00 a.m.**
- 7. Use of outdoor spa is prohibited.**
- 8. Kitchen with refrigerator, stove, dishwasher, coffee machine, cooking utensils and plate ware. Bathroom with shower/tub, includes linens, and towels provided. WiFi available. Fire extinguisher, CO detector and smoke detector located in kitchen.**
- 9. Check in time: 3:00 p.m. Check out time 12:00 p.m.**
- 10. Late check is possible. Please notify Marian and a key will be located in box on the Studio next to front door.**
- 11. Code Chapter 3.2.0 Transient Occupancy Tax ID number _____**

Contact Information

Owner, Marian Seiter 760-937-0932 lives in main house on property

Secondary contact: Ash Seiter 808-782-7566

Main House: 155 N. Mt. Whitney Drive, Lone Pine, CA 93545

Studio address: 157 N. Mt. Whitney Drive, Lone Pine, CA 93545

Emergency dial 911 for ambulance or in case of fire.



Planning Department
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AGENDA ITEM NO.: 6 (Action Item – Public Hearing)

**PLANNING COMMISSION
 MEETING DATE:** May 29, 2019

SUBJECT: Non-Hosted Short-Term Rental Permit No. 2019-01/Ormande & Cummings

EXECUTIVE SUMMARY

The applicant has applied for a non-hosted short term vacation rental permit, located at 301 Laws Ave., in Keeler. This permit is required for the applicant to begin renting residential space for periods of 30-days or less, and to achieve compliance with Inyo County Code Chapter 18.73.

PROJECT INFORMATION

Supervisory District: 5

Project Applicant: Sharon Cummings/Anthony Ormande

Site Address: 301 Laws Ave., Keeler, CA 93530

Community: Keeler, CA

A.P.N.: 031-054-08

General Plan: Residential Low Density (RL)

Zoning: Single Residence OR Mobile Home combined (RMH)

Size of Parcel: 0.41 acres

SURROUNDING LAND USE:

Location:	Use:	Gen. Plan Designation	Zoning
Site	Developed	Residential Low Density (RL)	Single Residence/Mobile home combined-10,000 ft ² min (RMH)
North	Developed	Residential Low Density (RL)	Single Residence/Mobile home combined-10,000 ft ² min (RMH)
East	undeveloped	Residential Low Density (RL)	Single Residence/Mobile home combined-10,000 ft ² min (RMH)
South	Developed	Residential Medium-High Density (RMH)	Single Residence/Mobile home combined-5,800 ft ² min (RMH)

West	Undeveloped	Residential Low Density (RL)	Single Residence/Mobile home combined-10,000 ft ² min (RMH)
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Staff Recommended Action: 1.) Approve the Non-Hosted Short-Term Vacation Rental Permit 2019-01/Ormande & Cummings

Alternatives:

- 1.) Deny the Non-Hosted Short-Term Vacation Rental Permit
- 2.) Approve the Non-Hosted Short-Term Vacation Rental Permit with additional conditions of approval
- 3.) Continue the public hearing to a future date, and provide specific direction to staff regarding what additional information and analysis is needed.

Project Planner: Steve Karamitros

STAFF ANALYSIS

Background and Overview

The applicant has applied for and received a Hosted Short-Term Vacation Rental Permit from the Inyo Planning Department, for the residence located at 120 N. Laws Ave., in Keeler. This is a primary residence where the applicants live full time. The applicants have also applied for Non-Hosted Short-Term Vacation Rental for an adjacent property, located at 301 Laws Ave., which has an approximately 800 ft² single modular house. This structure was built in compliance with the standards set by the Inyo County Building and Safety Department and the Inyo County Environmental Health Department.

The proposed application for a Non-Hosted Short-Term Vacation Rental Permit aligns with Inyo County Code Section 18.73-*Short-Term Rental of Residential Property*, which allows for the rental of dwelling units where the owner of the dwelling unit does not concurrently occupy the dwelling unit with the transient lodger. The application for this non-hosted rental has met the requirements of the Inyo County Planning Department and, per County Code Section 18.73.060, now requires that the Inyo County Planning Commission give final approval in order to issue the Non-Hosted Short-Term Vacation Rental Permit.

The residence is in a location surrounded by vacant land to the east, north and west, which are privately owned, as well as developed residential parcels to the south. The residence is located southeast of Lone Pine, in Keeler.

Vicinity Location Map



Residential location for non-hosted rental



General Plan Consistency

The goal of this review is to allow the applicant to rent residential space in compliance with the County's zoning ordinance. The project is consistent with the Short-Term Rental Ordinance, which was added as Chapter 18.73 of the Inyo County Code, following approval by the Inyo County Board of Supervisors on February 20, 2018. This use will not conflict with the General Plan designation of Residential Low Density (RL) as it does not change the size or density of the residential development currently on the site and in the General Plan.

Zoning Ordinance Consistency

The applicant's residence is zoned Single Residence OR Mobile home combined (RMH), which is defined as an eligible zoning area for short term rentals. The current use will not change and therefore remains consistent with the current zoning ordinance.

ENVIRONMENTAL REVIEW

As per Section Two of the approved County Ordinance (Chapter 18.73), the Hosted/Non-Hosted Short-Term Rental Permit 2019-01/Ormande & Cummings was reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA guidelines, and the County's environmental procedures, and was found to be exempt pursuant to Section 15061(b)(3) (general rule) of the CEQA guidelines, as it constitutes an extension of residential use, with no new development, and can be seen with certainty that there will be no significant effect on the environment.

Residents within 300 feet of the proposed rental were notified that an application for short-term rental was being submitted. These residents were notified following approval of the Hosted Short Term Rental permit and no complaints were filed. Inyo County staff noticed these residents regarding the public hearing date. Public notification of the hearing date was published in the Inyo Register on May 4, 2019.

RECOMMENDATION

Planning Department staff recommends the approval of Non-Hosted Short-Term Vacation Rental Permit 2019-01/Ormande & Cummings, with the following Findings and Conditions of Approval:

FINDINGS:

1. The proposed Non-Hosted Short-Term Vacation Rental Permit is exempted from further CEQA review, and the provisions of the California Environmental Quality Act have been satisfied.
[Evidence: Pursuant to Section 15061(b)(3) (general rule) of the CEQA guidelines, the proposed permit application constitutes an extension of residential use and can be seen with certainty that there will be no significant effect on the environment.]
2. The proposed Non-Hosted Short-Term Vacation Rental Permit is consistent with the Inyo County General Plan Land Use Designation of Residential Low Density (RL).
[Evidence: The proposed project is consistent with the goals and policies of the General Plan's Land Use designation of Residential Low Density, which allows for 2 – 4.5 dwelling units per acre. The applicant's proposal is to have one dwelling unit for rent on a 0.41 acre parcel, which is consistent with Inyo County's General Plan designation for this property.]
3. The proposed Non-Hosted Short-Term Vacation Rental Permit is consistent with the Inyo County Zoning Ordinance.
[Evidence: The approved ordinance of Short-Term Rentals (Transient Occupancy – a rental for 30-Days or less), as adopted by the Board of Supervisors on February 20, 2018, allows for the short-term rental of residential dwellings in the Zoning Districts of: One Family Residential (R1), Single Residence and Mobile Home Combined (RMH), Rural Residential (RR), Rural Residential Starlite Estates (RR- Starlite), and the Open Space Zone (OS). The applicant's property is zoned Single Residence or Mobile Home Combined and is therefore consistent with Inyo County's zoning ordinance.]
4. The proposed Non-Hosted Short-Term Vacation Rental Permit is necessary or desirable.

[Evidence: With the proliferation of Short-Term Vacation Rentals through on-line hosts, such as Air B&B, etc., the Board of Supervisors found it necessary and desirable to create an ordinance that regulated transient occupancy. In 2006 the Board of Supervisors approved with findings by Inyo County staff, related to transient occupancy, and issued a finding that stated “one family residential zone districts do not allow for short-term, transient accommodation uses as a primary permitted use, a conditional use or an accessory use; therefore, short-term transient accommodation uses in a one family residence zones is in violation of the - One Family Zone District as set forth in the Inyo County Code Section 18.30.” This decision guided the Planning Department’s efforts in designing an ordinance for short-term vacation rentals in residentially zoned areas. The proposed non-hosted vacation rental permit application is consistent with the requirements stipulated in the short-term rental ordinance, as adopted by the Board of Supervisors in February 2018.]

5. The proposed Non-Hosted Short-Term Vacation Rental Permit is properly related to other uses and transportation and service facilities in the vicinity.

[Evidence: The proposed Non-Hosted Short-Term Vacation Rental Permit is properly related to transportation and service facilities and will not adversely affect these facilities. All completed applications for Hosted/Non-Hosted Short-Term Rental Permits require site plans that demonstrate the availability of on-site parking at the applicant’s residence. This will avoid burdens to Inyo County maintained roads, in this case Laws Ave. in Keeler.]

6. The proposed Non-Hosted Short-Term Vacation Rental Permit would not under all the circumstances of this case, affect adversely the health or safety of persons living or working in the vicinity or be materially detrimental to the public welfare.

[The proposed Non-Hosted Short-Term Vacation Rental Permit does not adversely affect public health or safety of persons living in the vicinity. The Inyo County Public Health Department evaluated the application for sewer, septic, and water issues and found no problems with the application. The rental unit, a ~ 800 ft² single modular house, was evaluated by the County’s Building and Safety Department and no problems were identified.]

7. Operating requirements necessitate the proposed Non-Hosted Short-Term Vacation Rental Permit for the site.

[Evidence: Use of the applicant’s property for non-hosted short-term rental requires the Non-Hosted Short-Term Vacation Rental Permit, as per Chapter 18.73 of the Inyo County Code.]

CONDITIONS OF APPROVAL

1. Hold Harmless

The applicant shall defend, indemnify and hold harmless Inyo County agents, officers, and employees from any claim, action or proceeding against the County or its agents, officers, or employees to attack, set aside, void or annul an approval of the county, its advisory agencies, its appeals board, or legislative body concerning Non-Hosted Short-Term Vacation Rental Permit No. 2019-01/ Ormande & Cummings. The County reserves the right to prepare its own defense.

2. Compliance with County Code

The applicant shall conform to all applicable provisions of Inyo County Code. If the use provided by this Non-Hosted Short-Term Vacation Rental Permit is not established within one year of the approval date it will become void.

Rules and Regulations

For

301 Laws Ave

Keeler, CA 93530

1. Only 2 renters are allowed per guestroom.
2. Only 2 vehicles shall be allowed. The off street parking is provided in front of the house on the driveway.
3. No outdoor amplified sounds are allowed
4. Quiet hours are from 9:00 p.m. – 7:00 a.m.
5. Pets are not allowed, unless prior consent ,they shall be secure at all times while on the property. No continual barking or nuisance is allowed
6. The trash can is located in the Kitchen and bathroom, a large trash can is outside on the northern side of the house off of the porch.
7. Outdoor fire area is provided on the concrete patio, only a small bar-b-q is provided. The fire must be out by 9:00 p.m.
8. The transient occupancy tax and fee's are included in the rental agreement
9. Contact Sharon Cummings or Anthony Oermondefor other questions. (760) 382-8382





Planning Department
168 North Edwards Street
Post Office Drawer L
Independence, California 93526

Phone: (760) 878-0263
FAX: (760) 872-2712
E-Mail: inyoplanning@inyocounty.us

AGENDA ITEM NO.: 7 (Action Item – Public Hearing)

PLANNING COMMISSION
MEETING DATE: **May 29, 2019**

SUBJECT: Non-Hosted Short-Term Rental Permit
No. 2019-02/Kolker

EXECUTIVE SUMMARY

The applicant has applied for a Non-hosted Short-Term Rental permit, located at 3504 Ranch Road, in Bishop. This permit is required for the applicant to begin renting residential space for periods of 30-days or less, and to achieve compliance with Inyo County Code Chapter 18.73.

PROJECT INFORMATION

Supervisory District: 1
Project Applicant: Katherine & Patrick Kolker
Site Address: 3504 Ranch Road
Community: Bishop, CA
A.P.N.: 011-050-05
General Plan: Residential Low Density (RL)
Zoning: R-1 -10,000 (R-1 10,000)
Size of Parcel: Approximately 0.44-Acres

SURROUNDING LAND USE:

Location:	Use:	Gen. Plan Designation	Zoning
Site	Residential	Residential Low Density (RL)	One Family Residential – 10,000 square foot minimum (R1-10,000)
North	Residential	Residential Low Density (RL)	One Family Residential – 10,000 square foot minimum (R1-10,000)
East	Agriculture	Agriculture (A)	Open Space -40 Acre Minimum
South	Residential	Residential Low Density (RL)	One Family Residential – 10,000 square foot minimum (R1-10,000)square foot minimum (R1-10,000)
West	Residential	Residential Rural High Density (RRH)	One Family Residential – 10,000 square foot minimum (R1-10,000)

Staff Recommended Action: 1.) Approve the Non-Hosted Short-Term Rental Permit 2019-02/Kolker

Alternatives:

- 1.) Deny the Non-Hosted Short-Term Rental Permit
- 2.) Approve the Non-Hosted Short-Term Rental Permit with additional conditions of approval
- 3.) Continue the public hearing to a future date, and provide specific direction to staff regarding what additional information and analysis is needed.

Project Planner: Ryan Standridge

STAFF ANALYSIS

Background and Overview

The applicant has applied for and received a Hosted Short-Term Rental Permit from the Inyo Planning Department, for the residence located at 3504 Ranch Road in Bishop. There is a primary residence with an Accessory Dwelling unit which the applicant would like to rent as a non-hosted rental. This structure was built in compliance with the standards set by the Inyo County Building and Safety Department and the Inyo County Environmental Health Department.

The proposed application for a Non-Hosted Short-Term Rental Permit aligns with Inyo County Code Section 18.73-*Short-Term Rental of Residential Property*, which allows for the rental of

dwelling unit where the owner of the dwelling unit does not concurrently occupy the dwelling unit with the transient lodger. The application for this non-hosted rental has met the requirements of the Inyo County Planning Department and, per County Code Section 18.73.060, and now requires that the Inyo County Planning Commission give final approval in order to issue the Non-Hosted Short-Term Rental Permit.

The residence is in a location surrounded by developed residential parcels to the north, south, and west with agriculture directly east of parcel. The residence is in the Bishop community.

General Plan Consistency

The goal of this review is to allow the applicant to rent residential space in compliance with the County's zoning ordinance. The project is consistent with Short-Term Rental Ordinance, which was added as Chapter 18.73 of the Inyo County Code, following approval by the Inyo County Board of Supervisors on February 20, 2018. This use will not conflict with the General Plan designation of Residential Low Density (RL) as it does not change the size or density of the residential development currently on the site as designated by the General Plan.

Zoning Ordinance Consistency

The applicant's residence is zoned R-1 One Family Residential (R1-10,000), which is defined as an eligible zoning area for short term rentals with a short term rental permit. The current use will not change and therefore remains consistent with the current zoning designation.

ENVIRONMENTAL REVIEW

Short-Term Rental Permit 2019-02/Kolker was reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA guidelines, and the County's environmental procedures, and was found to be exempt pursuant to Section 15061(b)(3) (general rule) of the CEQA guidelines, as it constitutes an extension of residential use, with no new development, and can be seen with certainty that there will be no significant effect on the environment.

RECOMMENDATION

Find the proposed project is exempt from the requirements of the California Environmental Quality Act; make the findings specified below; and, approve Non-Hosted Short-Term Rental Permit 2019-02/Kolker, subject to the Conditions of Approval:

Recommended Findings for NH-STR 2019-02/Kolker:

1. The proposed Non-Hosted Short-Term Rental Permit is exempted from further CEQA review, and the provisions of the California Environmental Quality Act have been satisfied.
[Evidence: Pursuant to Section 15061(b)(3) (general rule) of the CEQA guidelines, the proposed permit application constitutes an extension of residential use with no new development or change in density and can be seen with certainty that there will be no significant effect on the environment.]

2. The proposed Non-Hosted Short-Term Rental Permit is consistent with the Inyo County General Plan Land Use Designation of Residential Medium Density (RM).
[Evidence: The proposed project is consistent with the goals and policies of the General Plan's Land Use designation of Residential Medium Density, which allows single family dwellings within urban type areas. The applicant's proposal to rent the primary dwelling unit is consistent with Inyo County's General Plan designation for Residential Low Density, , which allows for 2.0 to 4.5 dwelling units per acre. The applicant's proposal is to have one primary and one accessory dwelling unit on the parcel, and is consistent with Inyo County's General Plan designation for this property and in accordance with Government Code Section 65852.2.(a)(8) An accessory dwelling unit that conforms to this subdivision shall be deemed to be an accessory use or an accessory building and shall not be considered to exceed the allowable density for the lot upon which it is located, and shall be deemed to be a residential use that is consistent with the existing general plan and zoning designations for the lot.]
3. The proposed Non-Hosted Short-Term Rental Permit is consistent with the Inyo County Zoning Ordinance.
[Evidence: The approved ordinance of Short-Term Rentals (Transient Occupancy – a rental for 30-Days or less), as adopted by the Board of Supervisors on February 20, 2018, allows for the short-term rental of residential dwellings in the Zoning Districts of: One Family Residential (R1), Single Residence and Mobile Home Combined (RMH), Rural Residential (RR), Rural Residential Starlite Estates (RR- Starlite), and the Open Space Zone (OS) with a conditional use permit. The applicant's property is zoned One Family Residential and is therefore consistent with Inyo County's zoning ordinance upon receiving the conditional use permit.]
4. The proposed Non-Hosted Short-Term Rental Permit is necessary or desirable.
[Evidence: With the proliferation of Short-Term Rentals through on-line hosts, such as Air B&B, etc., the Board of Supervisors found it necessary and desirable to create an ordinance that regulated transient occupancy. The proposed non-hosted rental permit application is consistent with the requirements stipulated in the short-term rental ordinance, as adopted by the Board of Supervisors in February 2018.]
5. The proposed Non-Hosted Short-Term Rental Permit is properly related to other uses and transportation and service facilities in the vicinity.
[Evidence: The proposed Non-Hosted Short-Term Rental Permit is properly related to transportation and service facilities and will not adversely affect these facilities. All completed applications for Hosted/Non-Hosted Short-Term Rental Permits require site plans that demonstrate the availability of on-site parking at the applicant's residence.]
6. The proposed Non-Hosted Short-Term Rental Permit would not under all the circumstances of this case, affect adversely the health or safety of persons living or working in the vicinity or be materially detrimental to the public welfare.
[The proposed Non-Hosted Short-Term Rental Permit does not adversely affect public health or safety of persons living in the vicinity. The Inyo County Public Health Department evaluated the application for sewer, septic, and water issues and found no

problems with the application. The rental unit, was evaluated by the County's Building and Safety Department and no problems were identified.]

7. Operating requirements necessitate the proposed Non-Hosted Short-Term Rental Permit for the site.

[Evidence: Use of the applicant's property for non-hosted short-term rental requires the Non-Hosted Short-Term Rental Permit, as per Chapter 18.73 of the Inyo County Code.]

CONDITIONS OF APPROVAL

1. The applicant, landowner, and/or operator shall defend, indemnify and hold harmless Inyo County agents, officers, and employees from any claim, action or proceeding against the County or its agents, officers, or employees to attack, set aside, void or annul an approval of the county, its advisory agencies, its appeals board, or legislative body concerning Non-Hosted Short-Term Rental Permit No. 2019-02/Kolker. The County reserves the right to prepare its own defense.
2. The applicant shall conform to all applicable provisions of Inyo County Code, failure to do so could cause the revocation of the permit. If the use provided by this Non-Hosted Short-Term Rental Permit is not established within one year of the approval date it will be become void.

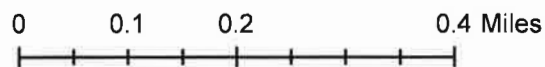
SUMMARY

Staff recommends that the Planning Commission make certain findings with respect to and approve Non-Hosted Short-Term Rental Permit No. 2019-02/Kolker and find it exempt from CEQA.

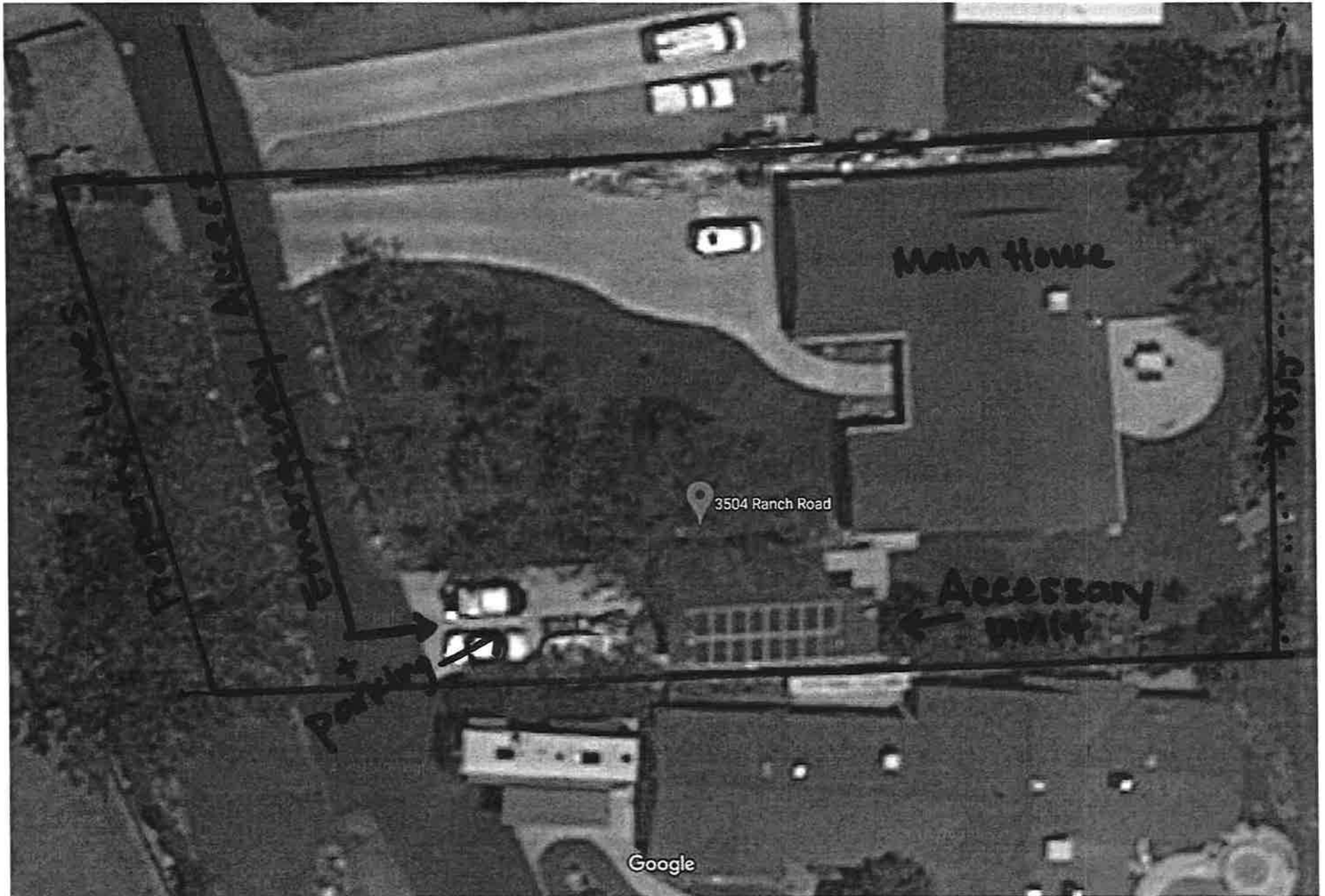
EXHIBITS

- A. Vicinity Map
- B. Site plan
- C. Rules

NHSTR-2019-02/Kolker Vicinity Map



Google Maps 3504 Ranch Rd - Parcel Map for Non-Hosted Short Term Rental



House Rules and Regulations

3504 Ranch Road
Bishop, CA 93514

Property Owners:

Katherine & Patrick Kolker
(760) 920-3005 (760) 920-8189

Emergency Contact

*If Katie and/or Pat are not available
Rob Barker (family friend in the neighborhood)
(760) 937-1949

1. Only two (2) renters are allowed per guestroom. This number does not include children three (3) years and under.
2. A maximum of one vehicle per guestroom is allowed - all guests must park in the driveway leading up to the home. Please do not park on the street or anywhere other than the driveway.
3. Outdoor amplified sound is prohibited. Please keep noise to a minimum as to not disturb our neighbors.
4. Quiet hours are from 9:00pm to 7:00am. Kindly turn porch light off before going to bed for the night.
5. Please use provided trash bins and recycling storage containers located along the side of the main house.
6. Pets are not allowed.
7. Outdoor fires are not permitted.
8. Please, absolutely NO SMOKING in or around the property.

Thank you!

Tax Registration Certificate #:



**Planning Department
168 North Edwards Street
Post Office Drawer L
Independence, California 93526**

Phone: (760) 878-0263
FAX: (760) 872-2712
E-Mail: inyoplanning@inyocounty.us

AGENDA ITEM NO.: 8 (Action Item – Public Hearing)

**PLANNING COMMISSION
MEETING DATE:** May 29, 2019

SUBJECT: Conditional Use Permit 2019-02\Telecommunications Plan Update 2019-01/Verizon Wireless.

EXECUTIVE SUMMARY

SAC Wireless, representing Verizon Wireless, has submitted an application to update Verizon's existing Telecom Plan and request a Conditional Use Permit to add a 100 foot Mono-pole tower. The Tower will have a pine tree façade housing nine 6 foot tall antenna and two 6 foot tall microwave antennas, at 950 Tu Su lane, on property owned by Richard and Alice Cassel with a Tax Assessor Parcel Number (APN 011-120-64). Verizon's current plan (adopted in August of 2003) includes a total of ten existing wireless communication facilities. Five sites were approved in the 2003 plan, and five approved under the Western Wireless Plan adopted in October 2003. Additionally Gill station was approved in the 2016 Verizon Update Plan. The current Verizon network consists of the twelve sites within Inyo County with one of them located inside the Bishop City limits and not under the County's jurisdiction. This application is updating the current Verizon Wireless Telecommunications Plan adding the proposed site at 950 Tu Su Lane upon approval the requested conditional use permit.

PROJECT INFORMATION

Supervisory District: 3

Applicants: Verizon Wireless, represented by SAC Wireless.

Property Owner: The Tower is owned by Verizon Wireless who leases the Site from the Richard and Alice Cassel.

Address/Community: 950 Tu Su Lane, Bishop, Ca

A.P.N.: 011-120-64

General Plan: Retail Commercial (RC)

Zoning: General Commercial (C2)

Surrounding Land Use:

Location:	Use:	Gen. Plan Designation	Zoning
Site	Parking/Vacant	Retail Commercial (RC)	General Commercial with a 10,000sq.ft minimum (C2-10,000)
North	Auto Repair Shop	Retail Commercial (RC)	General Commercial with a 10,000sq.ft minimum (C2-10,000)
East	Residence with Storage	Residential Medium High (RMH)	Multiple Residential with a 6,500sq.ft minimum (R2-6,500)
South	Residences	Tribal Land (TL)	Indian Reservation
West	Residence with grazing land	Tribal Land (TL)	Indian Reservation

Recommended Action:

- 1.) Adopt the Mitigated Negative Declaration of Environmental Impact pursuant to the California Environmental Quality Act, prepared for CUP 2019-02/Verizon Wireless and Telecomm Plan Update 2019-01/Verizon Wireless.
- 2.) Make certain Findings with respect to, and approve, Conditional Use Permit 2019-02/Verizon Wireless.
- 3.) Make certain Findings with respect to, and approve, Telecommunications Plan Update #2016-02/Verizon Wireless.

Alternatives:

- 1.) Deny Telecom Plan Update #2019-01/Verizon Wireless, thereby not allowing the applicant to update its Telecommunications Plan.

- 2.) Deny Condition Use Permit #2019-02 Verizon Wireless
Thereby not allowing the applicant to
- 3.) Continue the public hearing to a future date, providing
specific direction to staff regarding what additional
information and analysis is needed.

Project Planner:

Ryan Standridge, Assistant Planner

STAFF ANALYSIS

Background and Overview

Project Description

This is a request for the approval of an update to Verizon Wireless' existing telecommunications plan on file with the County. SAC Wireless submitted an application to the County for 100' mono-pine tower to house nine panel 6' tall antennas and two 6' tall microwave antennas to increase the capacity of the existing Verizon Wireless network in the area the new tower would be located at 950 Tu Su Lane, in Bishop California. The proposed location is not included in the approved Verizon Wireless telecom plan on file with the County, which makes this update necessary per the County's Telecommunications Ordinance and requires approval by the Planning Commission.

Inyo County Code

Wireless Communication in Inyo County is governed by Chapter 18.76 of the Inyo County Code – Regulation of Wireless Communication Facilities. Section 18.76.050(A) requires all Telecommunications Plans in the County be approved by the Planning Commission, and under 18.76.050(K) it requires that once they are approved, any amendments to telecommunications plans must also be approved by the Planning Commission. It also establishes that in considering an amendment, the planning commission shall be guided by the relevant portions of Chapter 18.76. In this case, the applicant has provided the materials needed to address the relevant portions with regard to the plan update. This includes a map showing Verizon's existing and future planned sites (Attachment 2) and a description of how this new site relates to the other sites in Verizon's network (Attachment 3). This project is designed to optimize cell service in the Bishop Area while enhancing call quality in West Bishop and extending service to the Starlite Community. The Project would provide increased public safety, and bring wireless service to areas of the County that currently do not have it.

General Plan Consistency

The Inyo County General Plan designates this site as Retail Commercial (RC). The RC designation provides for retail and wholesale commercial uses; service uses, offices, public and quasi-public uses, and similar and compatible uses. The communications facility is consistent with the use as a quasi-public use for utility provision.

In addition to the General Plan land use designation, the proposed project is consistent with the following two General Plan Policies, which are located within the Public Services & Utilities Element:

1. Policy PSU 7.1: Provision of Services: The County shall encourage the provision of communications and telecommunications service and facilities to serve existing and future needs.
2. Policy PSU 7.5: Communication Towers: The County shall require compliance with the Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County.

Zoning Ordinance Consistency

The proposed site that Verizon Wireless identified to be added to their Telecommunications Plan is zoned Retail Commercial (C2). The C2 zone allows for public and quasi-public buildings and uses of administrative, recreational, educational, religious, cultural, or public utility or service. The monopole and telecommunications antennae are considered a quasi-public utility use. Chapter 18.76 "Regulation of Wireless Communications Facilities," allows for wireless communication facilities within the C2 zone, but requires a Conditional Use Permit (CUP) or Variance if such a facility exceeds the maximum height allowed in that district for principal permitted uses. This is a quasi-public, utility, use and is permitted outright in the C2 zone with conditional use.

Review of Wireless Plan (ICC §18.76.050)

Section 18.76.050(K) of the Inyo County Code, states that once Telecommunications Plans are approved, any amendments to those plans must also be approved by the planning commission as well. It also establishes that in considering an amendment, the planning commission shall be guided by the relevant portions of chapter 18.76. Section 18.76.050(E) of the ICC outlines the requirements for approval of telecommunications plans and specifies that "after discharging its duties as the environmental review board accordance with ICC §15.12.040, the Planning Commission shall approve the wireless communications plan if it finds:

- That the Plan is in substantial compliance with the requirements of this chapter (i.e., Chapter 18.76).
This is an update to the existing Verizon Wireless Telecommunications Plan that was updated and approved by the Planning Commission in August of 2016. This plan met all of the requirements outlined in Chapter 18.76 at the time of approval. The update is to add a location site to the Verizon Plan ensuring that the Plan is compliant with the requirements of Chapter 18.76.050(K).
- That the applicant has made a good faith effort and commitment to meeting the standards and goals of this chapter.
Verizon Wireless has an adopted Telecommunications Plan that is on file with the County and is updating that plan with the proposed site. These actions show a good faith effort by the applicant to meet the standards as outlined in chapter 18.76.050(E) and (K) and will result in a Plan that is compliant with County Code.
- That none of the entities listed in subsection B(4) have interposed an objection to the plan (i.e., Edwards, China Lake or Ft. Irwin).

This is an update to the existing Verizon Wireless Telecommunications Plan. The entities listed under B(4) did not provide any objections to this proposed plan during the process.

- That execution of the plan will not pose or create a threat to the health, safety, or welfare of the public.”

This application submittal is an update to a previously adopted Telecommunications Plan. The project proposes to add a 100-foot Mono-pole tower, with a pine tree façade, that will house nine 6-foot tall antennae and two 6 foot tall microwave antennas at 950 Tu Su lane. The proposed tower location would require at least 110-feet from the nearest residence. The Mono-pole's location is approximately 180 feet from the nearest residence to the northeast, 120 feet from the nearest residence to the south, and 270-feet from the nearest residence to the northwest. This proposal shall require all pertinent building and electrical permits to be obtained. This process ensures all State and local building and safety standards are followed; therefore, the execution of the Plan does not pose threats to the health, safety or welfare of the public.

ENVIRONMENTAL REVIEW

The proposed project is to install a 100’ mono-pole tower to house nine panel 6’ tall antennas and two 6’ tall microwave antennas to increase the capacity of the existing Verizon Wireless network in the area located on a site that is zoned C2. The tower, any antennae or appurtenant equipment, are allowed as a principal permitted use as a quasi-public utility use under the C2 zoning designation. The height of the tower would require a Conditional Use Permit under 18.76 and/or a Variance under 18.49. The proposed project is covered by CEQA Guidelines Section 15065(b)(1) that states mitigated negative declaration to be a negative declaration where mitigation measures are added to a project "before the proposed negative declaration and initial study are released for public review. This update adds a site to the Verizon network outlined in the Verizon Wireless Telecommunications Plan, and proposes a pine tree façade to mitigate the aesthetic impact. The proposed location for 100-foot pine tree façade mono-pole is a previously disturbed site that has been graded and developed. The existing buildings on the property are used as storage for Tow Trucks, Cars, and tires, by the Automotive repair shop on the parcel to the north, which is owned by the Cassels. □

Public Notice:

Notice of this Planning Commission public hearing was published in the May 11, 2019 edition of the Inyo Register newspaper and mailed to property owners of record within 300 feet of the subject properties.

As of the date of this Staff Report, The Bishop Tribe’s letter of concern is the only correspondence received as a result of the public hearing notice. The Bishop Tribe submitted a letter of concern for the projects electromagnetic radiation levels and visual impacts to homes on the reservation. Inyo County issued a rebuttal letter explaining the Cell tower is within the federal requirement of 3 KHz to 300GHz as stated in the report. The letter included Verizon supplied photo simulations to assist with visual concerns. No other public comments have been received to date.

TRIBAL CONSULTATION

Prior to the Environmental review, consultation invitations were sent to the: Twenty Nine Palms Band of Mission Indians; Torres Martinez Desert Cahuilla Indians; Bishop Paiute Tribe; Fort Independence Indian Community of Paiutes; Big Pine Paiute Tribe of the Owens Valley; Timbisha Shoshone Tribe; and, the Lone Pine Paiute-Shoshone Tribe per Tribal requests. The Bishop Paiute Tribe requested consultation. The Bishop Paiute Council members, Inyo County Board of Supervisors Dan Totheroh, Rick Pucci, and Staff met on March 3, 2019. It was determined that no known historical resources, as defined in Section 15064.5, exist on the proposed site and tribal consultation closed.

NOTICING

CUP 2019-02 and Telecomm plan update 2019-01/Verizon Wireless were noticed in the Inyo Register and sent to all property owners 300-feet of the project, ten days before the Planning Commission Hearing. The Bishop Tribe submitted a letter of concern for the projects electromagnetic radiation levels and visual impacts to homes on the reservation. Inyo County issued a rebuttal letter explaining the Cell tower is within the federal requirement of 3KHz to 300GHz as stated in the report. The letter included Verizon supplied photo simulations to assist with visual concerns. No other public comments have been received to date. □

RECOMMENDATIONS

Planning Department staff recommends the approval of Verizon Wireless Conditional Use Permit No. 2019-02/ Verizon Wireless and the Telecommunications Plan Update 2019-01/ Verizon Wireless, with the following Findings and Conditions of Approval: □

Findings:

Conditional Use Permit 2019-02\Verizon Wireless

1. Based upon the Initial Study and all oral and written comments received, adopt the Negative Declaration of Environmental Impact and certify that the provisions of the California Environmental Quality Act have been satisfied.
[Evidence: An Initial Study and Draft Mitigated Negative Declaration of Environmental Impact was prepared and circulated for public review and comment under the provisions of the California Environmental Quality Act. The 30-day public comment period ended on April 8, 2019. No additional Potentially significant environmental impacts from the construction and operation of the tower and antenna were identified by state entities in the course of first circulation. The State Clearinghouse submitted a letter of acknowledgment of compliance. Furthermore the publication in the local paper allowed the Public review period to end May 10 with no additional comments recieved.]
2. The proposed Conditional Use Permit is consistent with the Inyo County General Plan Land Use designation of Public Service Facility (PF).
[Evidence: The proposed Conditional Use Permit is consistent with the goals and Objectives of the Public Service Facility LU 5.2 designation, as it is property leased by public agencies and offer an essential public service by providing the residents of Bishop with improved phone and wireless internet service. Wireless Phone services are

considered a “quasi-public facility.” No conflicts exist with policies and objectives in the other adopted elements of the General Plan.]

3. The proposed Conditional Use Permit is consistent with the Inyo County Zoning Ordinance, which permits “Utility or public service facility” as a Conditional Use in the C-2 Zoning District.
[Evidence: Section 18.48 - The Highway Services and Tourist Commercial (C-2) Zoning District allows, under 18.48.030 ,Conditional Uses (P) Public/quasi-public facility when operating requirements necessitate its location within the district to extend capacity to existing Verizon wireless network. Telecommunications are considered a use of a public service nature and the operating requirements necessitate the proposed location in the C-2 Zoning District and the applicant has applied for the required Conditional Use Permit for the proposed mono-pole.]
4. The proposed Conditional Use Permit is necessary or desirable.
[Evidence: General Plan Policy PSU-7.1 encourages the provision of new communications services to the residents of Inyo County. This project serves the purpose of providing improved cellphone service to the people who live in the Bishop area; therefore, this is a desirable use.]
5. The proposed Conditional Use Permit is appropriately related to other uses and transportation and service facilities in the vicinity. □
[Evidence: The proposed tower will be sited on the property currently used for an Automotive Center and all of its related uses. The project is a mono-pine pole that will hold cellular service antennas. The 100 f.t mono-pine pole will have no impact on transportation or service facilities.]
6. The proposed Conditional Use Permit would not, under all the circumstances of this case, affect adversely the health or safety of persons living or working in the vicinity or be materially detrimental to the public welfare.
[Evidence: The placement of a 100-foot tall Mono-pole tower will not have an impact on surrounding properties the tower’s electromagnetic radiation level of 0.038 mW/cm² is within the federal requirement of 3KHz to 300GHz. The applicant shall be subject to the requirements set by the Great Basin Unified Air Pollution Control District during the construction of the site, and building requirements specified in the Uniform Building Code by the Inyo County Building and Safety Department.]
7. Operating requirements necessitate the 100-foot tall Mono-pole tower’s location within the Retail Commercial (C-2) zoning district.
[Evidence: Several Site locations were considered in preparation for the Telecom Plan update; however, no viable co-location, or commercial building to build upon, was tall enough to meet objectives. The project location of 950 Tu Su Lane and construction of 100- foot mono-pole meets the height requirement to expand Verizon’s coverage to West Bishop, and the Starlite area, which will help to serve the surrounding Bishop area.]

Therefore, the operating requirements necessitate the 100 f.t mono-pine pole location within the C-2 Zone.

Findings:

Telecommunications Plan Update 2019-01\Verizon Wireless

1. This proposed Telecommunications Plan Update is covered by General Rule 15061(b)(3)
The proposed Plan Update is covered by the CEQA General Rule CEQA Guidelines Section 15065(b)(1) that states mitigated negative declaration to be a negative declaration where mitigation measures are added to a project “before the proposed negative declaration and initial study are released for public review. This update adds a site to the Verizon network, as outlined in the Verizon Wireless Telecommunications Plan, and proposes to add a pine tree façade that will mitigate the aesthetic impact. The 100 ft pine tree façade mono-pole proposed location is on a previously disturbed site that is graded and developed with existing buildings. The majority of the property is used as storage for Tow Trucks, Cars, and tires, by the Automotive repair shop on the parcel to the north, which is owned by the Cassels.
2. The proposed Telecom Plan Update is consistent with the Inyo County General Plan. *The Plan Update conforms to the land use designation of Retail Commercial that allows for quasi-public uses. The communications facility is consistent with the utility provision. The Plan Update also complies with Policy PSU 7.1: Provision of Services: The County shall encourage the provision of communications and telecommunications service and facilities to serve existing and future needs; and, Policy PSU 7.5: Communication Towers: The County shall require compliance with the Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County.*
3. The proposed Telecom Plan is consistent with the Inyo County Zoning Chapter 18.48 Highway Services and Tourist Commercial (C2). *The Telecom Plan Update, as proposed, meets all the requirements of Chapter 18.76 of the Inyo County Code, and the required findings as outlined in ICC §18.76.050(E) as described above.*
4. This Commission further finds that the proposed Telecom Plan is consistent with Chapter 18.76 of the ICC [§18.76.050(E)] required findings as discussed above:
 - a. That the plan is in substantial compliance with the requirements of this chapter;
 - b. That the applicant has made a reasonable effort and commitment to meeting the standards and goals of this chapter;
 - c. That none of the entities listed in subsection B.4. (military) have objected to the plan; and
 - d. That execution of the plan will not pose or create a threat to the health, safety, or welfare of the public.
5. The proposed Telecom Plan necessitate the 100-foot tall Mono-pole tower’s location within the Retail Commercial (C-2) zoning district.

Several Site locations were considered in preparation for the Telecomm Plan update; however, no viable co-location, or commercial building to build upon, was tall enough to meet objectives. The project's proposed height and location meet the specifications required to expand coverage to the West Bishop and Starlite area. This will help to serve the surrounding Bishop area. Therefore, the operating requirements necessitate the Telecom Plan Update.

Recommended Conditions of Approval for Conditional Use Permit 2019-02\Telecommunications Plan Update 2019-01/Verizon Wireless

CONDITIONS OF APPROVAL

1. Hold Harmless

The applicant/developer shall defend, indemnify and hold harmless Inyo County agents, officers, and employees from any claim, action or proceeding against the County or its agents, officers, or employees to attack, set aside, void or annul an approval of the county, its advisory agencies, its appeals board, or legislative body concerning Conditional Use Permit No. 2019-02/Verizon Wireless2019-01. The County reserves the right to prepare its own defense. □

2. Compliance with County Code

1. The applicant/developer shall conform to all applicable provisions of the Inyo County Code. If the use provided by this conditional use permit has not established within one year of the approval date, it will become void □

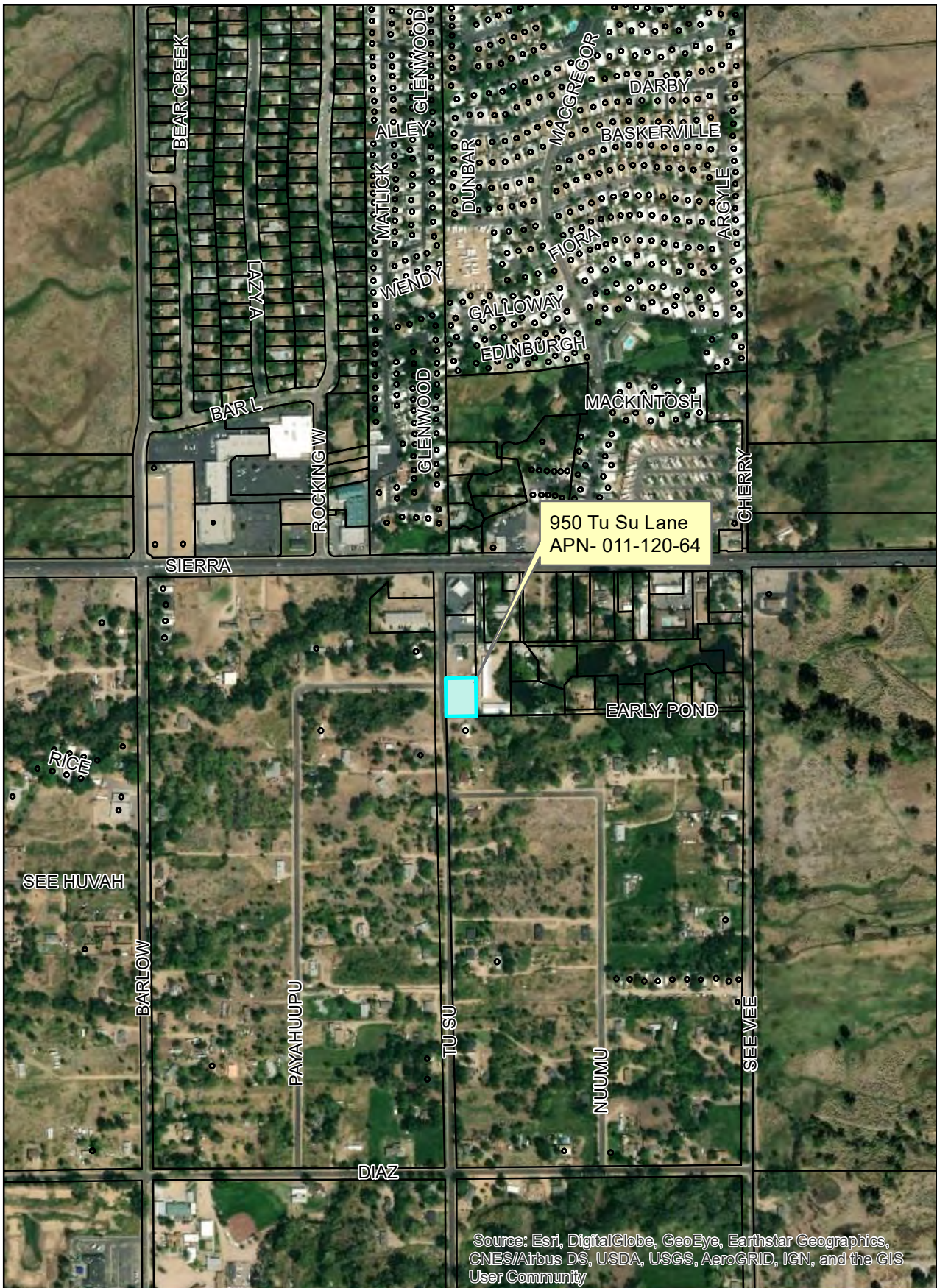
2. Conformance with Approved Wireless Telecom Plan:

All subsequent development of wireless communications facilities under this Telecom Plan including this update shall be in substantial conformance with the approved Plan Verizon Wireless Telecommunications Plan. If future proposals are not in substantial conformance with the approved Plan, a request for approval of a modification to the approved Plan shall be submitted to the Planning Commission for approval prior to consideration of any subsequent applications for Conditional Use Permit and/or Variance applications, or any subsequent development of wireless communications facilities in Inyo County.

ATTACHMENTS:

- 1.) Vicinity Map
- 2.) Map depicting Verizon site locations within Inyo County
- 3.) Project support statement

Conditional Use 2019-02/Telecom 2019-01/Verizon Exhibit 1



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

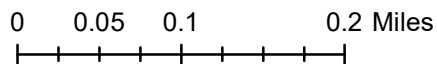


Exhibit 2



Inyo County Proposed Wireless Network Design Plan

Prepared by:
Walt Kohls
RF Engineer

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Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.



Current Network

- Currently Verizon owns and operates six (6) cell sites along Highway 395.

- All cell sites provide 4G LTE service.

- Bishop:
 - Lat/Long: 37-21-32N; 118-23-45W;
 - APN 001-117-411
 - Centerline & Frequencies
 - Bishop – CL 113
 - 1720-1730/2120-2130
 - 835-845/880-890
 - 1890-1895/1970-1975
 - 1885-1890/1965-1970
 - 746-757/776-787

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Current Network (Cont.)

- Poverty Hills:
 - Lat/Long: 37-03-26N; 118-14-32W
 - APN: 018-230-12
 - Centerline & Frequencies
 - CL 79
 - 835-845/880-890
 - 746-757/776-787
- Lone Pine:
 - Lat/Long: 36-36-58N; 118-02-29W
 - APN: 026-050-18
 - Centerline & Frequencies
 - CL 65
 - 835-845/880-890
 - 746-757/776-787





Current Network (Cont.)

- Haiwee Pass:
 - Lat/Long: 36-11-36N; 118-00-27W
 - APN: 033-220-43
 - Centerline & Frequencies
 - CL 65
 - 835-845/880-890
 - 746-757/776-787
- Little Lake:
 - Lat/Long: 35-55-34N; 117-54-44W
 - APN: 037-120-30
 - Centerline & Frequencies
 - CL 65
 - 835-845/880-890
 - 746-757/776-787
 - 1720-1730/2120-2130

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Current Network (Cont.)

- Independence
 - Lat/Long: 36-47-55.02N; 118-09-34.63W
 - APN: 022-150-14
 - Centerline & Frequencies
 - CL 164
 - 835-845/880-890
 - 746-757/776-787



Future Network Plans

- New Cell Site Proposals – No estimated In-service Dates
Coordinates provided are an estimated point of proposed new site. Co-location opportunities will be sought out. Actual location will be determined upon completion of feasibility study of area.
 - Gil Station Coso Rd: 36-02-54.00N; 117-56-39.45W; APN: 037-510-02
 - Purpose – To help fill in RF coverage gap between Little Lake and Haiwee Pass
 - Benefit - Help to eliminate drop and no-service areas.





Future Network Plans (cont.)

- New Cell Site Proposals – No estimated In-service Dates

Coordinates provided are an estimated point of proposed new site. Co-location opportunities will be sought out. Actual location will be determined upon completion of feasibility study of area.

- West Bishop: 37-22-38.12N; 118-25-22.13W; APN: 011-120-64
 - Purpose – Enhance RF coverage to the Bishop area.
 - Benefit – Better call quality.



Conclusion

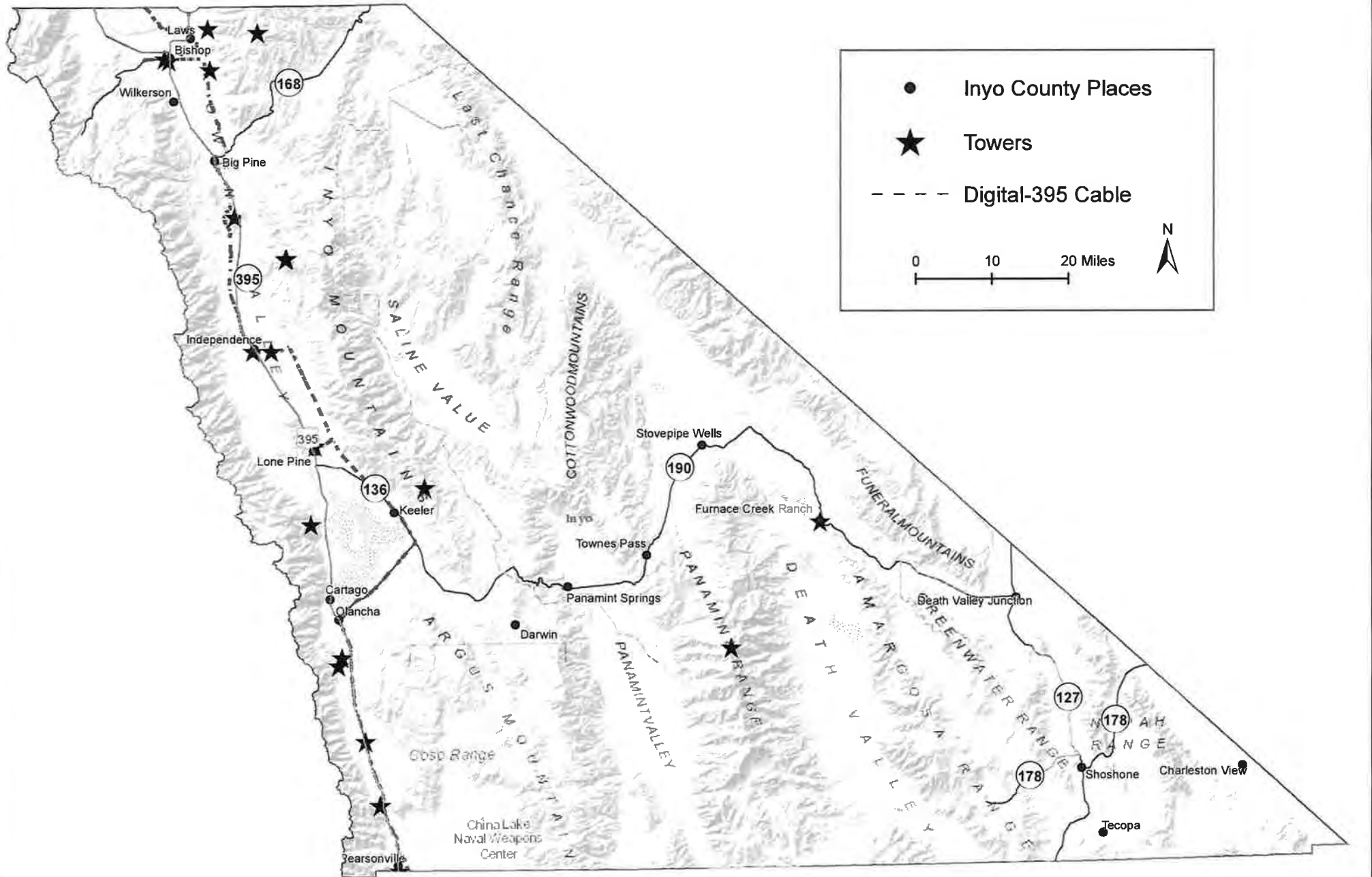
The current plan of Verizon Wireless addresses customer demand, optimizing our current cell site locations.

Future plans of Verizon Wireless will continue to address customer demand.

As a wireless provider, Verizon Wireless looks for co-location opportunities. The use of existing structures are sought out first as primary candidates for new cell site locations.



Exhibit 2



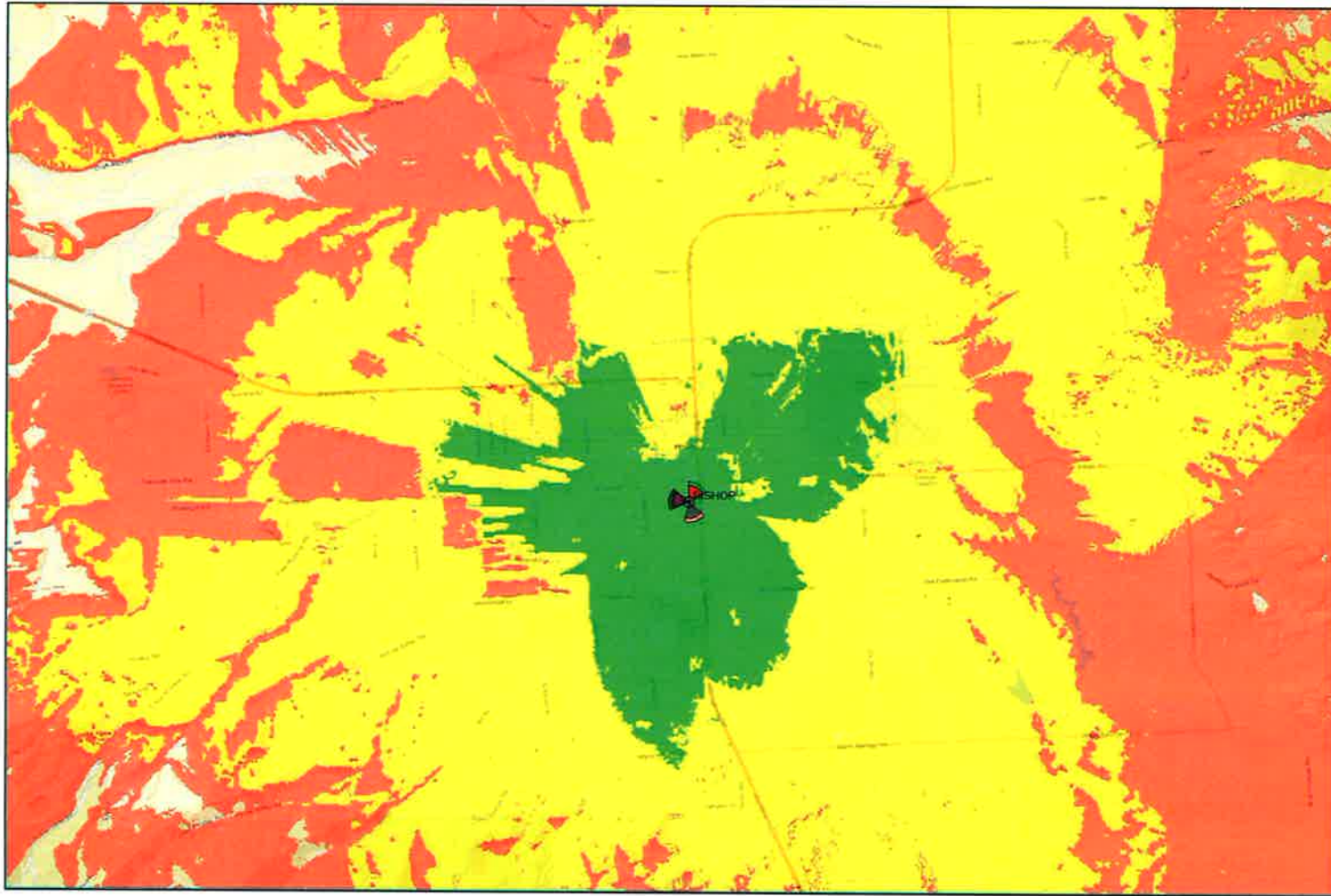


West Bishop Propagation Maps

Prepared by Verizon Wireless
RF Engineering



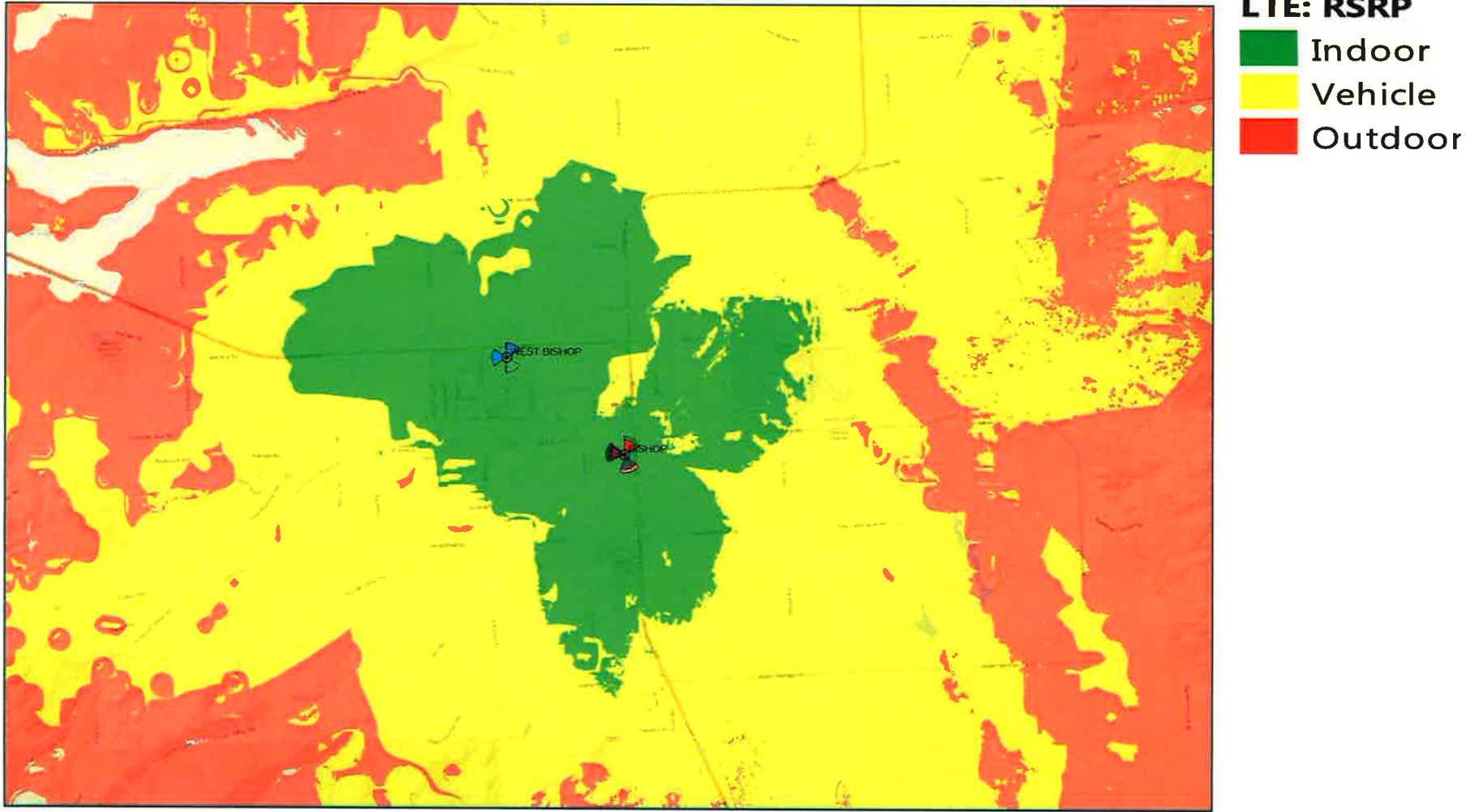
West Bishop – Existing Coverage



- LTE: RSRP**
- Indoor
 - Vehicle
 - Outdoor



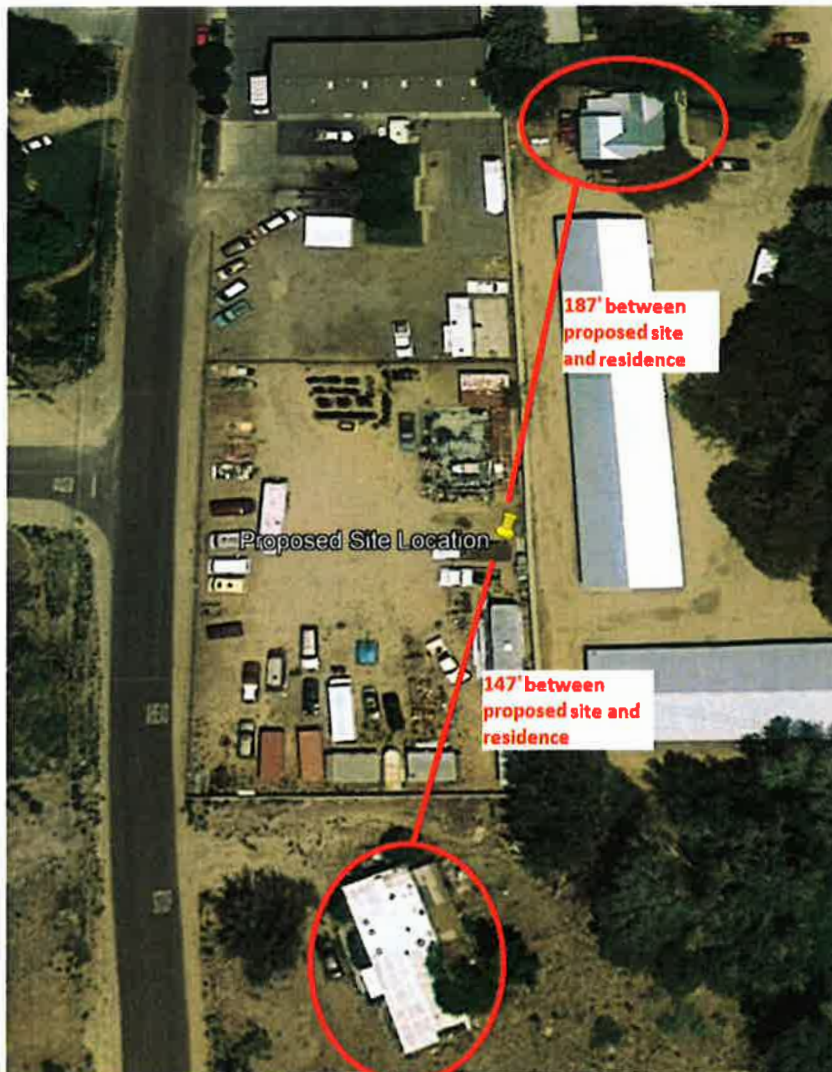
West Bishop – Proposed Coverage



Statement on General Requirements from Chapter 18.76.100 in Compliance with Chapter 18.76.070.A.9 and Chapter 18.76.070.A.9.a

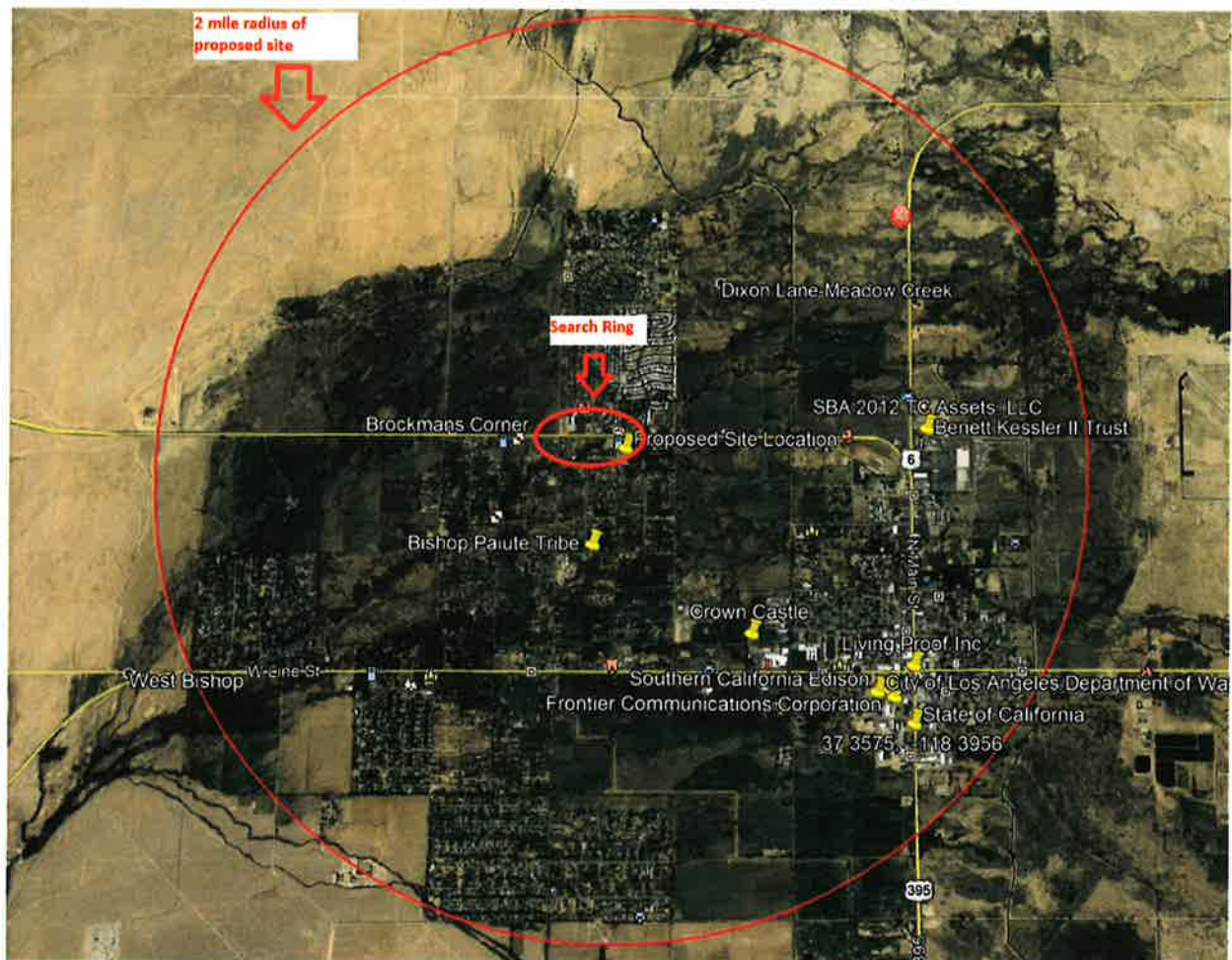
Verizon Wireless's proposed "West Bishop" site complies with the general requirements noted in Chapter 18.76.100. Please see the list below in response to each item requested in the list of general requirements:

- 1) The proposed site is over 110' feet (110% of the 100' proposed facility) from the two nearest residences. Please see the map below:



- 2) To reduce visual impact, Verizon Wireless proposed a monopine design. This faux pine tree design allows the facility to blend in with the other pine trees in the local area.

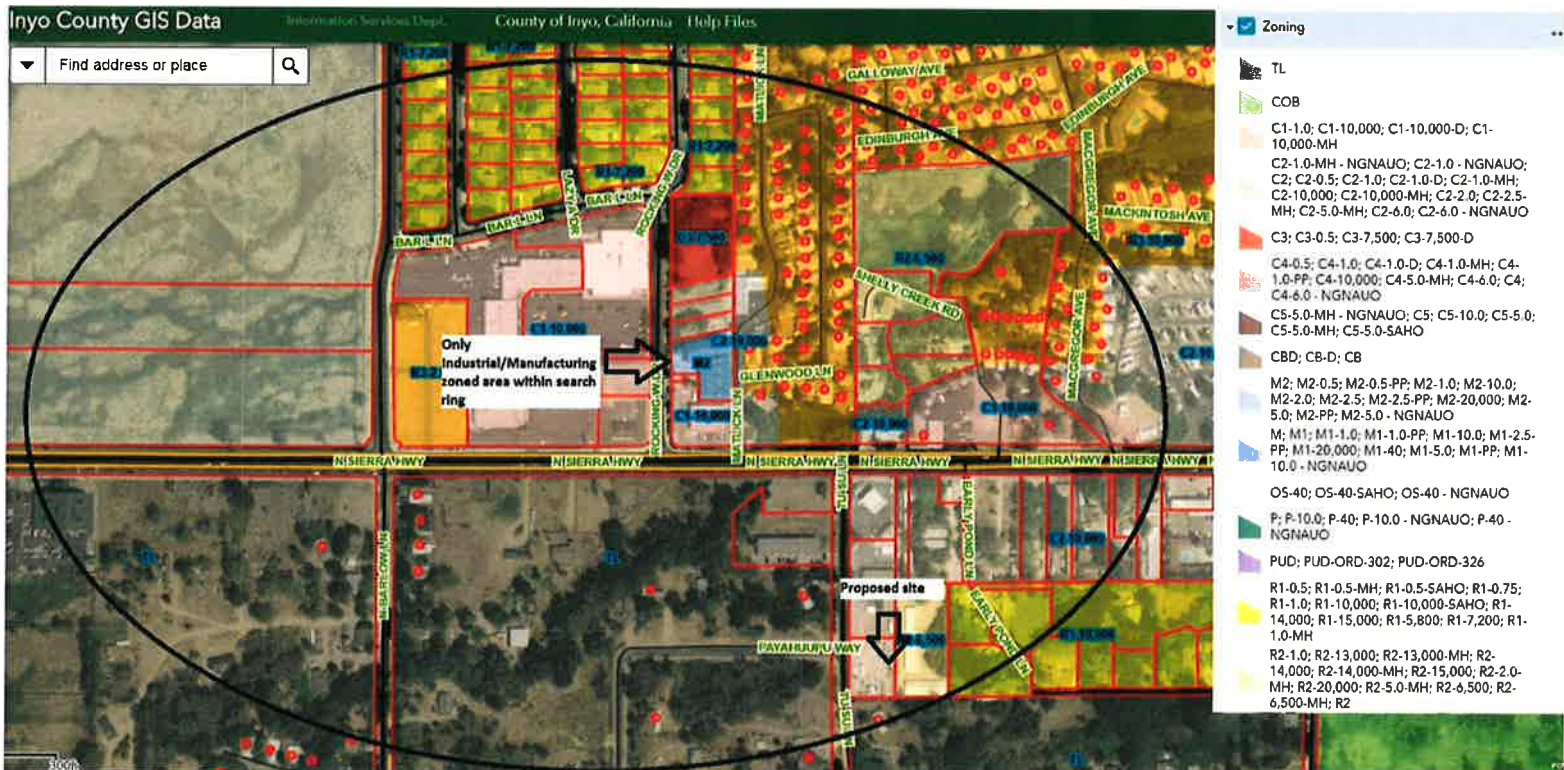
- a. Collocation was not an option for this site. As shown in the map below, there are no existing towers within the search ring. All existing towers are too far away to meet the objectives for this proposed facility.



- b. The site is proposed to be in the back of a car storage facility to minimize its impact in comparison to being located within the front of the property.
- c. The proposed monopine facility will use techniques of faux pine branches and other material to camouflage the appearance of the tower to appear as a pine tree.
- d. All paint and colors will be non-reflective.
- e. The supporting ground equipment will not be more than one story tall, and it will be located behind a chain linked fence.
- f. Lighting at the site will be directed toward the ground and will not cause glare onto the adjacent property, nor disperse into the night sky, nor be a hazard to birds.
- g. Open-mesh design shall be used if determined to be feasible after microwave analysis is complete.
- h. Land disturbance will be kept to a minimum as much as possible during construction.
- i. There is no existing vegetation on the site that can be used to screen facilities as the property is currently being used to store car parts.
- j. Not applicable

k. Not applicable

- 3) Notices have been sent to the Military entities required.
- 4) The facility will be designed to minimize deleterious effects on birds and other animals to the greatest extent possible.
- 5) For security reasons the proposed facility will be surrounded by a locked 8' high chain-link fence with barbed wire. Only authorized personnel will have access to the equipment.
- 6) North Tu Su Lane will be utilized for access to the property. Once on the property, a new site access driveway is also proposed for easy access to the proposed facility.
- 7) The property of the proposed site is zoned C-2 for commercial use. While it is understood that Inyo County prefers wireless facilities to be in public zones and industrial/manufacturing zones over commercial zones, as shown below by the zoning map, there are no public zoned areas within the search ring and there is only one property zoned industrial/manufacturing, which did not have space to fit a wireless facility. Therefore, the search was focused on commercial properties, and a commercial property is currently being proposed.



- 8) While it is understood that the County prefers façade mount, roof mount, and ground mount designs over free standing monopines, a free-standing facility was the only option feasible for this site. There are no existing buildings that are tall enough for the antennas to cover this area. Therefore, a new proposed 100' monopine is being proposed.

Exhibit 4

- 9) The overall design of the site will follow the Uniform Building Code.
- 10) Not applicable

Statement on Removal of Site per Chapter 18.76.070.14

If Verizon Wireless chooses to remove the site, the entire removal process will take approximately five weeks. During this time all operating equipment will be shut down and unplugged. All materials will then be removed including footings up to five feet above grade. The property will be restored to its original conditional except for reasonable wear and tear. Estimated cost is at approximately \$50,000.

Statement on Intended Use of Facility in Compliance with Chapter 18.76.070.8

Verizon Wireless is proposing the "West Bishop" site to increase capacity of current service to the town of Bishop as the existing "Bishop" site is experiencing high levels of call traffic. This site will improve call quality for the residents of Bishop.

Verizon Wireless is in the process of completing a lease agreement with the property owners to lease space for the proposed wireless facility.



**Planning Department
168 North Edwards Street
Post Office Drawer L
Independence, California 93526**

**Phone: (760) 878-0263
(760) 872-2706
FAX: (760) 878-0382
E-Mail: inyoplanning@inyocounty.us**

Bishop Tribal Council,

Attached is the additional information you requested regarding the Verizon Tower proposal located at 950 Tu Su Lane , in your letter to staff and consultation meeting.

The first concern I will address is the Electromagnetic Radiation Level. Hammett & Edison Inc. Consulting engineers of Broadcast & Wireless, provided a letter that supported information that the tower's electromagnetic radiation level is within the federal requirement of 3KHz to 300GHz as stated in the copy of the report provided to the Tribe during the meeting on March 6, 2019. I have included the study results section with highlights for your convenience.

After reviewing you letter of concerns, there seems to be a misunderstanding about the project location. To clarify, tower projects are required by the County to be placed or erected no closer than a distance equal to one hundred and ten percent of the height of the tower from any residence. The proposed Mono Pole is 100-feet from the proposed tower location, meaning it would have to be at least 110-feet from the nearest residence. The County has verified that no residential homes are within the required 110-feet. The portrayal of the tower, shared with us by the Tribe, puts it within approximately 50-feet of the nearest home.

Verizon has prepared Photo simulations from 4 different locations (attached). Also, I have attached some additional modified pictures to show the relationship of the tower and the residence located at 874 Tu Su Lane at the approximate, actual, proposed location. The tower will be located 120-feet from the home located at 874 Tu Su Lane and the current view (at eye level) from it is of an existing six foot brick wall. From the home there will be a view of the upper portion of the pine tree façade if one is looking up. The picture is located on the forth page of the simulation that is included in the sample Verizon has submitted (attached). The Tribal Land directly west of the project is vacant with trees that are similar in height. The residence at 931 Tu Su Lane, located approximately 350-feet northwest of site location, faces south away from the proposed tower. The residence at 935 Tu Su Lane is located approximately 270-feet northwest of the proposed tower location and its front door faces directly into the side of the Auto Repair Center. The view to the north of it is an apartment complex.

Please let me know if you need any further clarifications or if you have more questions regarding the proposed project. The project is tentatively scheduled for an April 24th Planning Commission hearing. Opportunities for additional comments will be available when the project is noticed (10-days in advance of the hearing) and during the hearing. I

am assuming that the Tribe is not interested in conducting further consultations related to the project as we have not heard from the Tribal Historic Preservation Officer regarding to cultural resources. If I am incorrect in this assumption, please let me know.

Thank you for your interest in Conditional Use Permit 2019-02/Telecom Plan Update
2019-01/Verizon West Bishop,

Respectfully,

A handwritten signature in cursive script that reads "Ryan Key Standridge". The signature is written in black ink and is positioned above the printed name.

Ryan Standridge

cc: Rick Pucci, Inyo County Board of Supervisor District 3
Dan Totheroh, Inyo County Board of Supervisor District 1



HAMMETT & EDISON, INC.
CONSULTING ENGINEERS
BROADCAST & WIRELESS

WILLIAM F. HAMMETT, P.E.
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EDWARD EDISON, P.E.
1920-2009

March 25, 2019

DANE E. ERICKSEN, P.E.
CONSULTANT

Ms. Casey Ogata-Tran
SAC Wireless
8880 Cal Center Drive, Suite 130
Sacramento, California 95826

Re: RF exposure levels near radio towers

Dear Casey:

Thanks for sending us the question regarding how radio frequency power density levels from the proposed Verizon operation on the 65-foot pole to be constructed at 1351 Rocking Way in Bishop compare with levels near radio towers. The answer is that the levels from the Verizon operation — projected to be less than 2.0% of the FCC public limit anywhere at ground and 0.80% at any nearby building — would generally be lower.

The exact comparison depends, of course, on the specific radio tower: whether it is for an AM or an FM station, how high it is above ground, and how much power is transmitted. For example, the calculated RF exposure level at ground from the 2.5 kW effective radiated power FM antenna mounted at an effective height of about 36 feet above ground in my back yard is 24% of the public limit. Levels from lower-power FM antennas or FM antennas mounted on a taller tower might be lower.

There are other differences between typical cellular and radio antennas, including the fact that cellular antennas are generally more efficient at focusing signals out toward the horizon, rather than toward the ground or nearby buildings.

I hope that this is a helpful review. Please let me know if any further questions arise regarding this technical issue or any others.

Sincerely yours,

William F. Hammett

dm

**Verizon Wireless • Proposed Base Station (Site No. 278524 “West Bishop”)
950 North Tu Su Lane • Bishop, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 278524 “West Bishop”) proposed to be located at 950 North Tu Su Lane near Bishop, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Executive Summary

Verizon proposes to install directional panel antennas on a tall pole, configured to resemble a tree, to be sited at 950 North Tu Su Lane near Bishop. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

Prevailing Exposure Standards

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5–80 GHz	5.00 mW/cm ²	1.00 mW/cm ²
WiFi (and unlicensed uses)	2–6	5.00	1.00
BRS (Broadband Radio)	2,600 MHz	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

General Facility Requirements

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky. Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the antennas require line-of-sight paths for their signals to propagate well and so are installed at some height

**Verizon Wireless • Proposed Base Station (Site No. 278524 “West Bishop”)
950 North Tu Su Lane • Bishop, California**

above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

Computer Modeling Method

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

Site and Facility Description

Based upon information provided by Verizon, including zoning drawings by SAC AE Design Group, Inc., dated August 29, 2017, it is proposed to install nine CommScope Model NHH-65C directional panel antennas on a new 95-foot steel pole, configured to resemble a pine tree,* to be sited at the back of the commercial property located at 950 North Tu Su Lane in unincorporated Inyo County, about a quarter-mile west of Bishop. The antennas would employ no downtilt, would be mounted at an effective height of about 91 feet above ground, and would be oriented in groups of three toward 0°T, 105°T, and 240°T. The maximum effective radiated power in any direction would be 36,000 watts, representing simultaneous operation at 11,750 watts for AWS, 10,250 watts for PCS, 7,080 watts for cellular, and 6,920 watts for 700 MHz service. Also proposed to be located on the pole are two microwave “dish” antennas, for interconnection of this site with others in the Verizon network. There are reported no other wireless telecommunications base stations at the site or nearby.

Study Results

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation, including the contribution of the microwave antennas, is calculated to be 0.038 mW/cm², which is 4.3% of the applicable public exposure limit. The maximum calculated level at the second-floor elevation of any nearby building[†] is 5.5% of the public exposure limit. The maximum calculated level at the second-floor elevation of any nearby residence[‡] is 2.0% of the public exposure limit. It

* Foliage atop the pole puts the overall height at 100 feet.

† Located at least 25 feet away, based on photographs from Google Maps.

‡ Located at least 120 feet away, based on photographs from Google Maps.

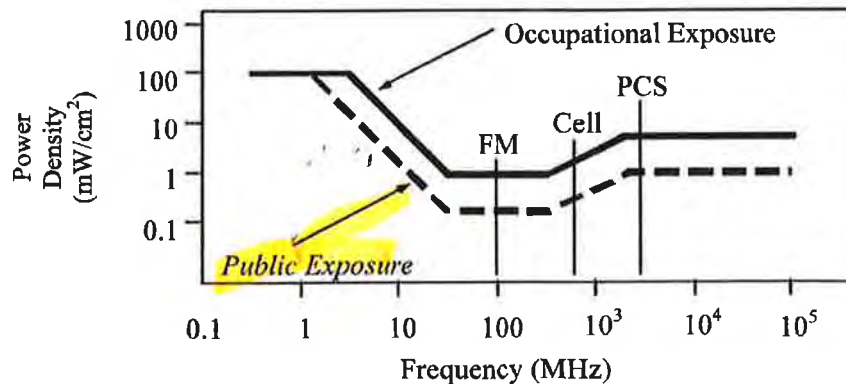


FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

Frequency Applicable Range (MHz)	Electromagnetic Fields (<i>f</i> is frequency of emission in MHz)					
	Electric Field Strength (V/m)		Magnetic Field Strength (A/m)		Equivalent Far-Field Power Density (mW/cm ²)	
0.3 – 1.34	614	<i>614</i>	1.63	<i>1.63</i>	100	<i>100</i>
1.34 – 3.0	614	<i>823.8/f</i>	1.63	<i>2.19/f</i>	100	<i>180/f²</i>
3.0 – 30	1842/f	<i>823.8/f</i>	4.89/f	<i>2.19/f</i>	900/f ²	<i>180/f²</i>
30 – 300	61.4	<i>27.5</i>	0.163	<i>0.0729</i>	1.0	<i>0.2</i>
300 – 1,500	3.54√ <i>f</i>	<i>1.59√f</i>	√ <i>f</i> /106	<i>√f/238</i>	f/300	<i>f/1500</i>
1,500 – 100,000	137	<i>61.4</i>	0.364	<i>0.163</i>	5.0	<i>1.0</i>



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



RFR.CALC™ Calculation Methodology

Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission ("FCC") to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

Near Field.

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$, in mW/cm²,

and for an aperture antenna, maximum power density $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$, in mW/cm²,

- where θ_{BW} = half-power beamwidth of the antenna, in degrees, and
 P_{net} = net power input to the antenna, in watts,
 D = distance from antenna, in meters,
 h = aperture height of the antenna, in meters, and
 η = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

Far Field.

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

$$\text{power density } S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}, \text{ in mW/cm}^2,$$

- where ERP = total ERP (all polarizations), in kilowatts,
 RFF = relative field factor at the direction to the actual point of calculation, and
 D = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.



While 65852.2 (e) appears to only address existing structures that are being converted to ADU's, from a practical standpoint this seems to completely open the door. The logic is all one would have to do to circumvent the existing structure provision is to get a permit and build an accessory structure. Then once the accessory structure is permitted, they could turn around and get a permit to convert that accessory structure into an ADU. As a matter of policy, we might be reluctant to make someone go through that two-step process just because that is what a strict interpretation of the code leads to. That is, since they can get there anyways in a way we can't restrict, we probably would allow ADU's to be constructed in one step permitting process, and allow the 5' setbacks on new ADU construction as well as retrofits.

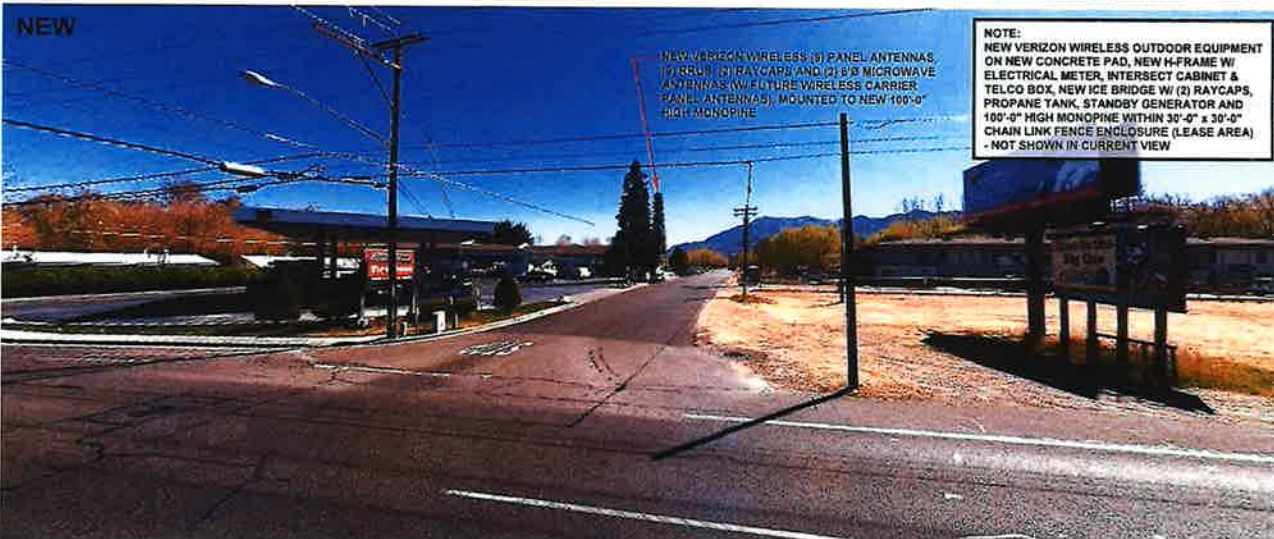
We would like your views on our current interpretation of this section of the Government Code. Until this point in time, we have made ADU's adhere to residential setbacks. As mentioned we have at least two inquiries that would be affected by the interpretation of this Code section.



WEST BISHOP
 PSL # 278524
 950 NORTH TU SU LANE
 BISHOP, CA 93514



PHOTOSIMULATION VIEWPOINT 1



NEW VERIZON WIRELESS: (8) PANEL ANTENNAS, (9) RRUS, (2) RAYCAPS AND (2) 8'x8' MICROWAVE ANTENNAS (W/ FUTURE WIRELESS CARRIER PANEL ANTENNAS), MOUNTED TO NEW 100'-0" HIGH MONOPINE

NOTE:
 NEW VERIZON WIRELESS OUTDOOR EQUIPMENT ON NEW CONCRETE PAD, NEW H-FRAME W/ ELECTRICAL METER, INTERSECT CABINET & TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS, PROPANE TANK, STANDBY GENERATOR AND 100'-0" HIGH MONOPINE WITHIN 30'-0" x 30'-0" CHAIN LINK FENCE ENCLOSURE (LEASE AREA) - NOT SHOWN IN CURRENT VIEW

DISCLAIMER: THIS PHOTOSIMULATION IS INTENDED AS A GRAPHICAL REPRESENTATION OF EXISTING AND PROPOSED SITE CONDITIONS BASED ON THE PROJECT / DRAWING PLANS. IT IS NOT INTENDED FOR CONSTRUCTION. ACTUAL, FINAL CONSTRUCTION MAY VARY



WEST BISHOP
 PSL # 278524
 950 NORTH TU SU LANE
 BISHOP, CA 93514



PHOTOSIMULATION VIEWPOINT 2



NOTE:
 NEW VERIZON WIRELESS OUTDOOR EQUIPMENT
 ON NEW CONCRETE PAD, NEW H-FRAME W/
 ELECTRICAL METER, INTERCEPT CABINET &
 TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS,
 PROPANE TANK, STANDBY GENERATOR AND
 100'-0" HIGH MONOPINE WITHIN 30'-0" x 30'-0"
 CHAIN LINK FENCE ENCLOSURE. (LEASE AREA)
 - NOT SHOWN IN CURRENT VIEW

NEW VERIZON WIRELESS 45' PANEL, 30' MONOPINE,
 20' H-FRAME W/ (2) RAYCAPS, 10' STANDBY
 GENERATOR, 10' PROPANE TANK, 10' ICE BRIDGE
 W/ (2) RAYCAPS, 10' ELECTRICAL METER, 10' TELCO
 BOX, 10' INTERCEPT CABINET, 10' CONCRETE
 PAD, ANTENNAS, MOUNTED TO NEW 100'-0"
 CHAIN LINK FENCE

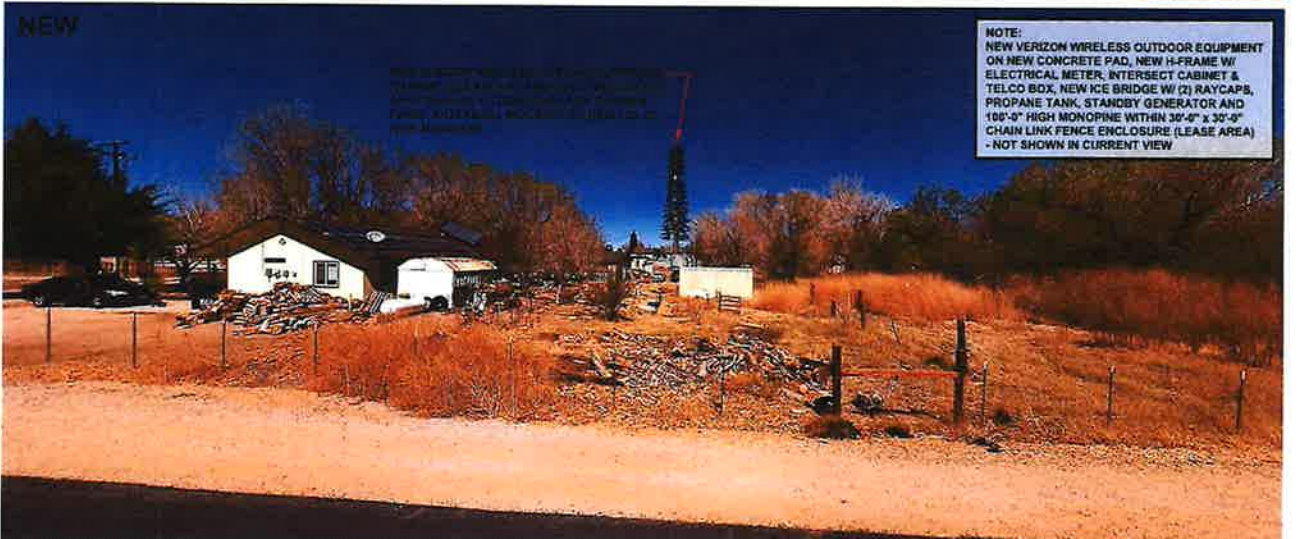
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WEST BISHOP
 PSL # 278524
 950 NORTH TU SU LANE
 BISHOP, CA 93514



PHOTOSIMULATION VIEWPOINT 3



NOTE:
 NEW VERIZON WIRELESS OUTDOOR EQUIPMENT
 ON NEW CONCRETE PAD, NEW H-FRAME W/
 ELECTRICAL METER, INTERSECT CABINET &
 TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS,
 PROPANE TANK, STANDBY GENERATOR AND
 100'-0" HIGH MONOPINE WITHIN 30'-0" x 30'-0"
 CHAIN LINK FENCE ENCLOSURE (LEASE AREA)
 - NOT SHOWN IN CURRENT VIEW

DISCLAIMER: THIS PHOTOSIMULATION IS INTENDED AS A GRAPHICAL REPRESENTATION OF EXISTING AND PROPOSED SITE CONDITIONS BASED ON THE PROJECT / DRAWING PLANS. IT IS NOT INTENDED FOR CONSTRUCTION. ACTUAL, FINAL CONSTRUCTION MAY VARY

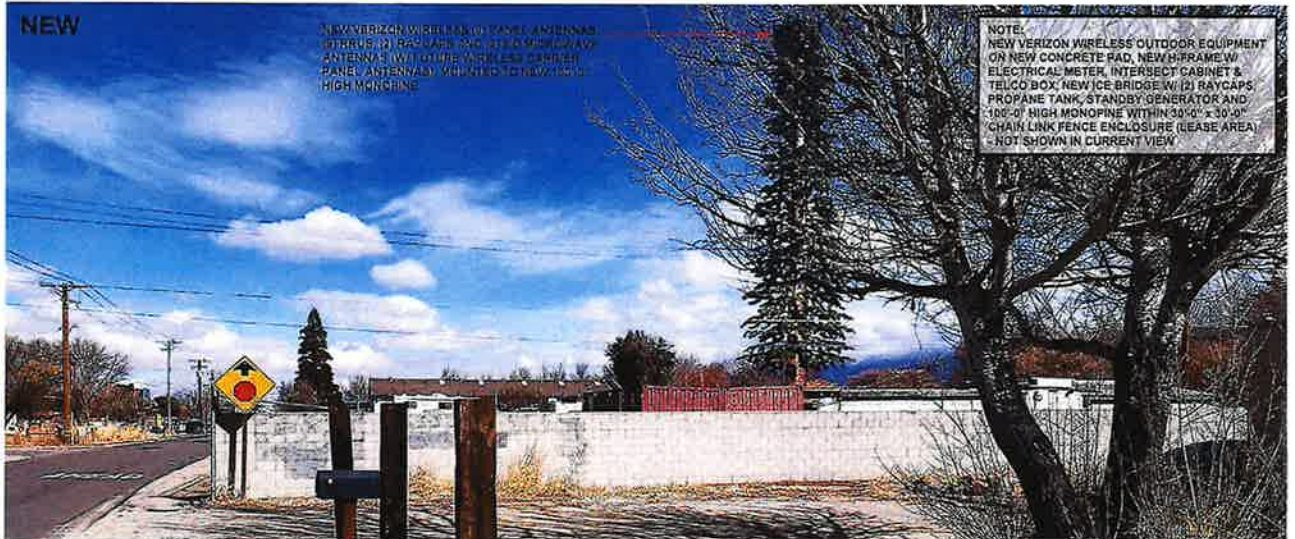
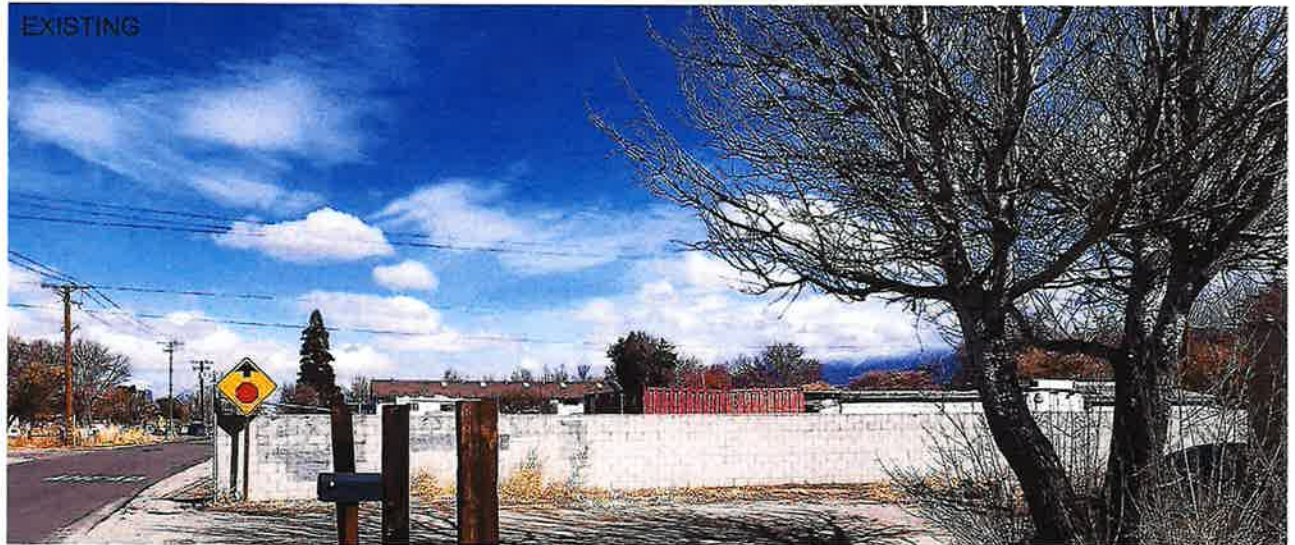


WEST BISHOP
 PSL # 278524
 950 NORTH TU SU LANE
 BISHOP, CA 93514



5015 SHOREHAM PLACE, SUITE 150
 SAN DIEGO, CA 92122
 www.sdcwireless.com

PHOTOSIMULATION VIEWPOINT 4



NEW VERIZON WIRELESS OUTDOOR EQUIPMENT
 ON NEW CONCRETE PAD, NEW H-FRAME W/
 ELECTRICAL METER, INTERSECT CABINET &
 TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS,
 PROPANE TANK, STANDBY GENERATOR AND
 100'-0" HIGH MDNOPNE WITHIN 30'-0" x 30'-0"
 CHAIN LINK FENCE ENCLOSURE (LEASE AREA
 NOT SHOWN IN CURRENT VIEW)

NOTE:
 NEW VERIZON WIRELESS OUTDOOR EQUIPMENT
 ON NEW CONCRETE PAD, NEW H-FRAME W/
 ELECTRICAL METER, INTERSECT CABINET &
 TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS,
 PROPANE TANK, STANDBY GENERATOR AND
 100'-0" HIGH MDNOPNE WITHIN 30'-0" x 30'-0"
 CHAIN LINK FENCE ENCLOSURE (LEASE AREA
 NOT SHOWN IN CURRENT VIEW)

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Not to Scale

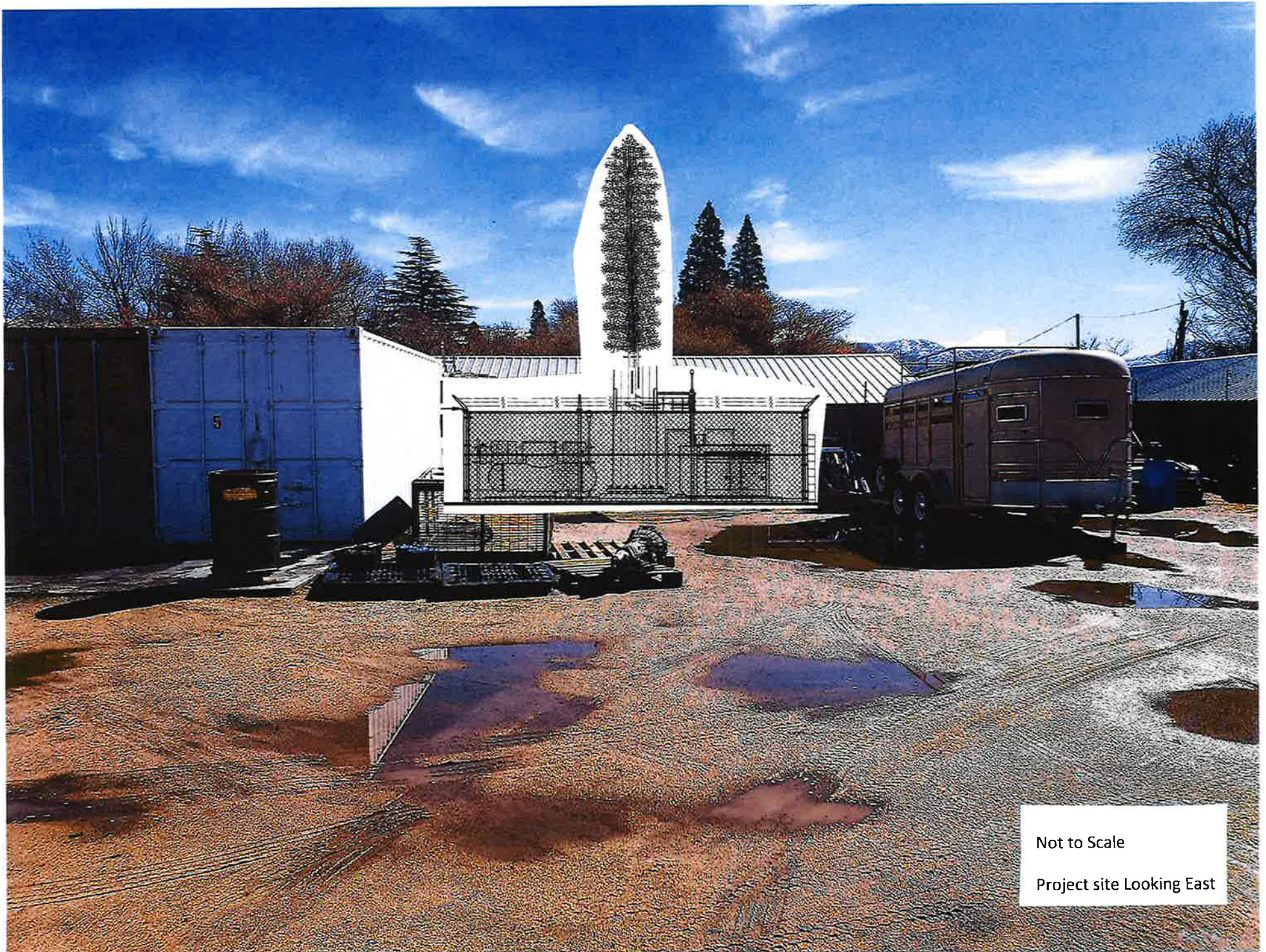


Closest Home West of site location

Closest Home West of site location

Construction of Mono Pole Location Facing West.

Exhibit 5

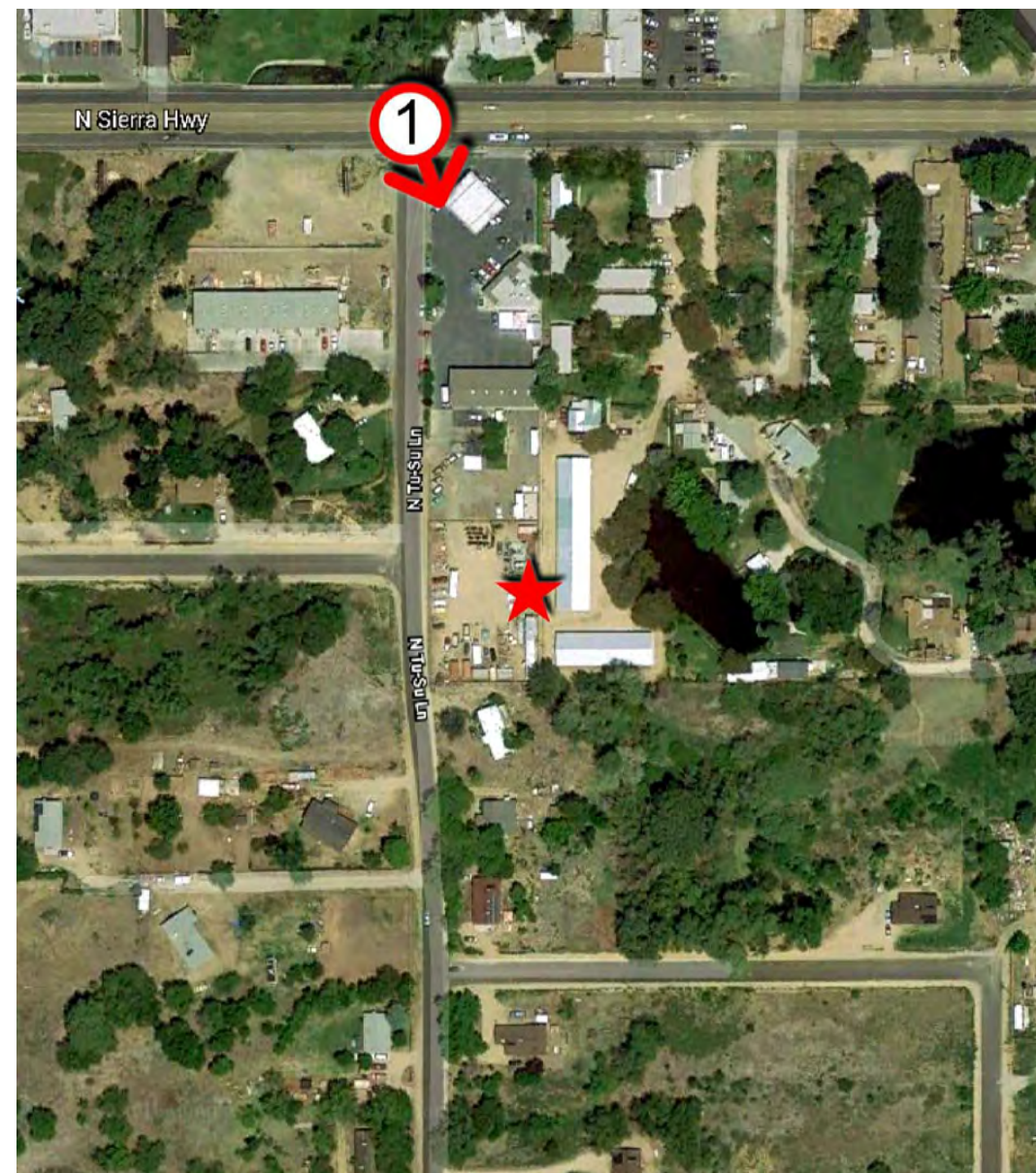
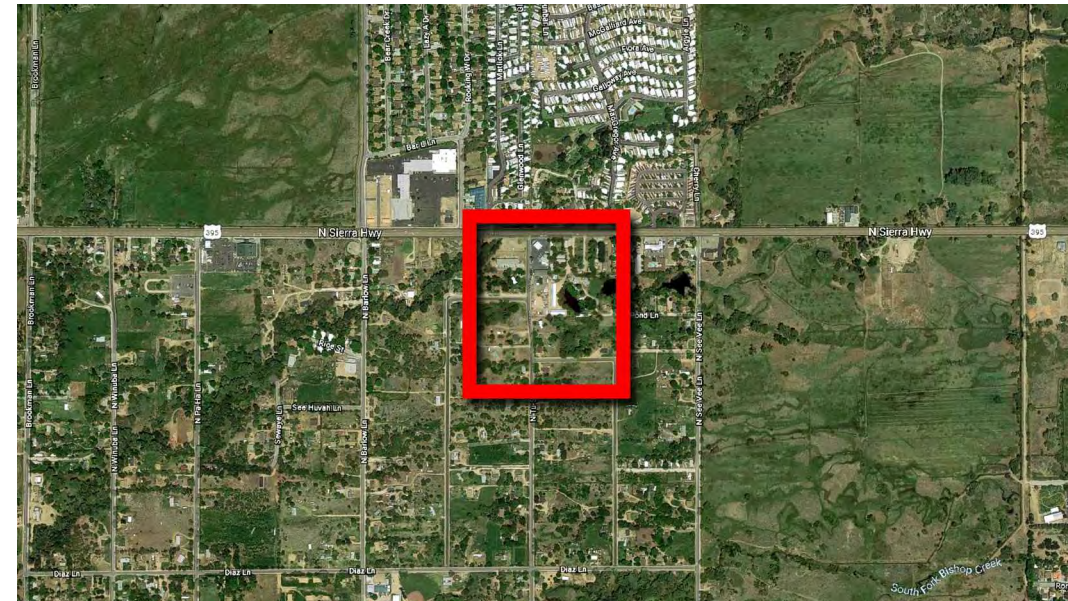


Not to Scale
Project site Looking East

Exhibit 5



PHOTOSIMULATION VIEWPOINT 1



EXISTING



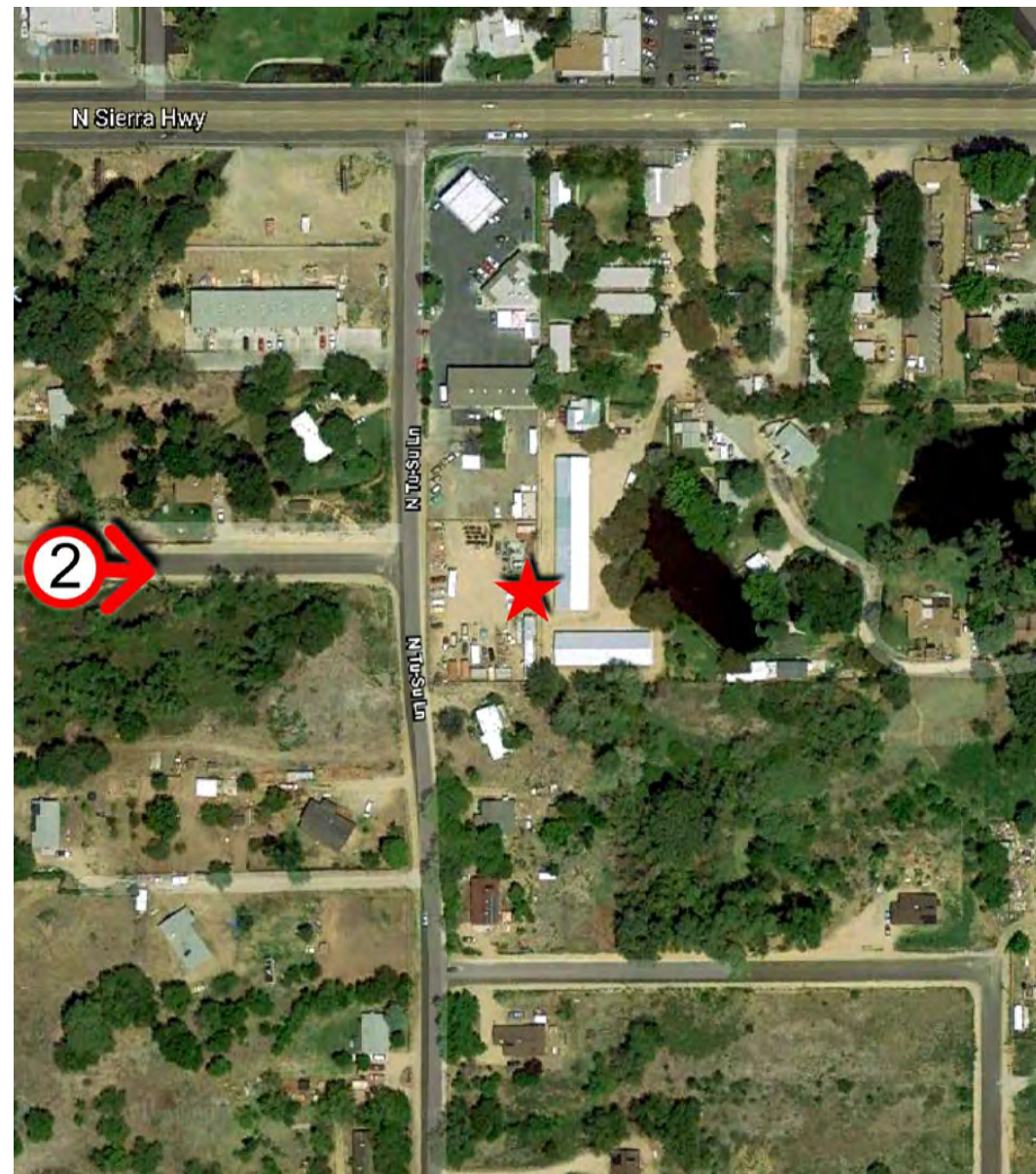
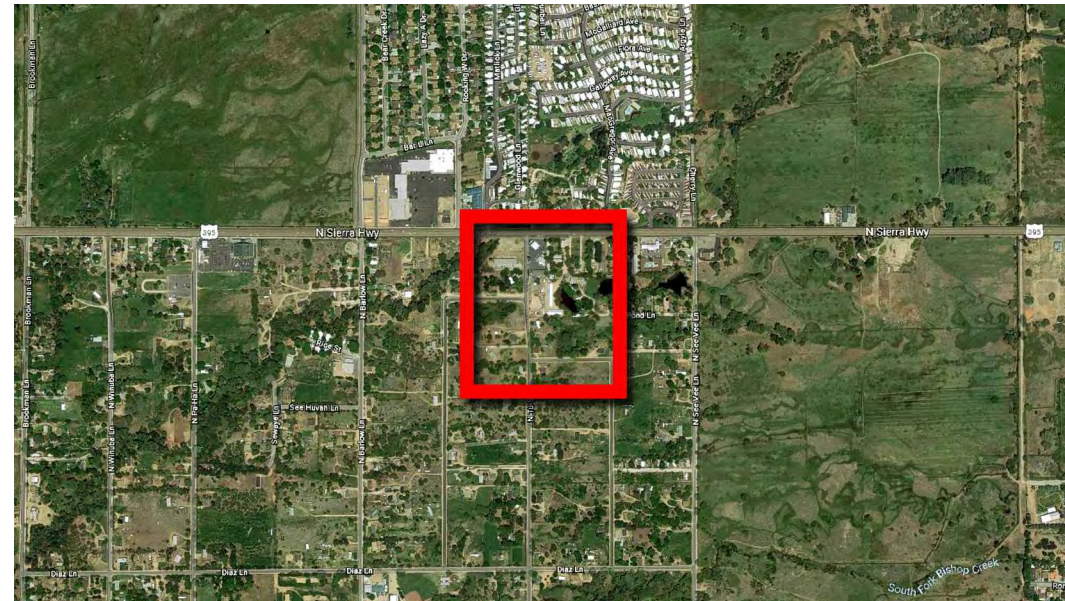
NEW



NEW VERIZON WIRELESS (9) PANEL ANTENNAS, (9) RRUS, (2) RAYCAPS AND (2) 6'Ø MICROWAVE ANTENNAS (W/ FUTURE WIRELESS CARRIER PANEL ANTENNAS), MOUNTED TO NEW 100'-0" HIGH MONOPINE

NOTE:
NEW VERIZON WIRELESS OUTDOOR EQUIPMENT ON NEW CONCRETE PAD, NEW H-FRAME W/ ELECTRICAL METER, INTERSECT CABINET & TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS, PROPANE TANK, STANDBY GENERATOR AND 100'-0" HIGH MONOPINE WITHIN 30'-0" x 30'-0" CHAIN LINK FENCE ENCLOSURE (LEASE AREA) - NOT SHOWN IN CURRENT VIEW

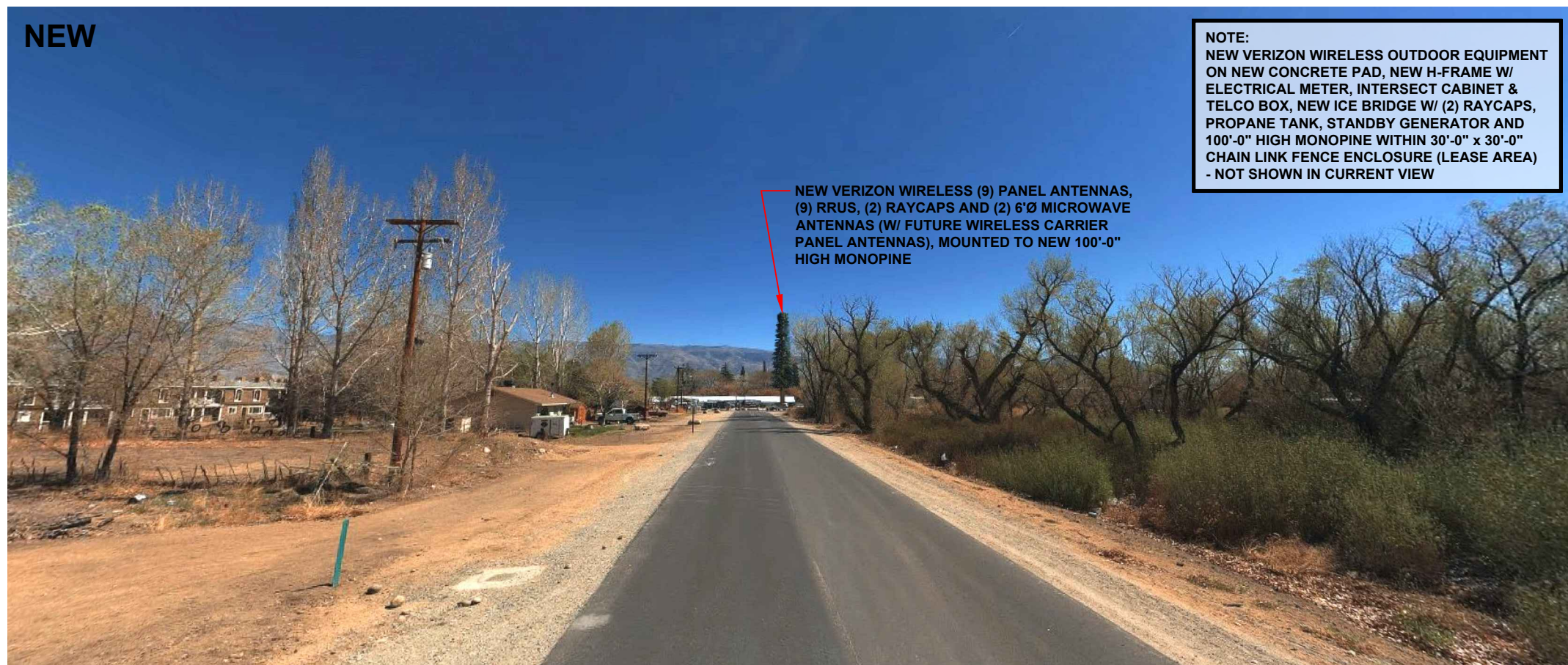
PHOTOSIMULATION VIEWPOINT 2



EXISTING



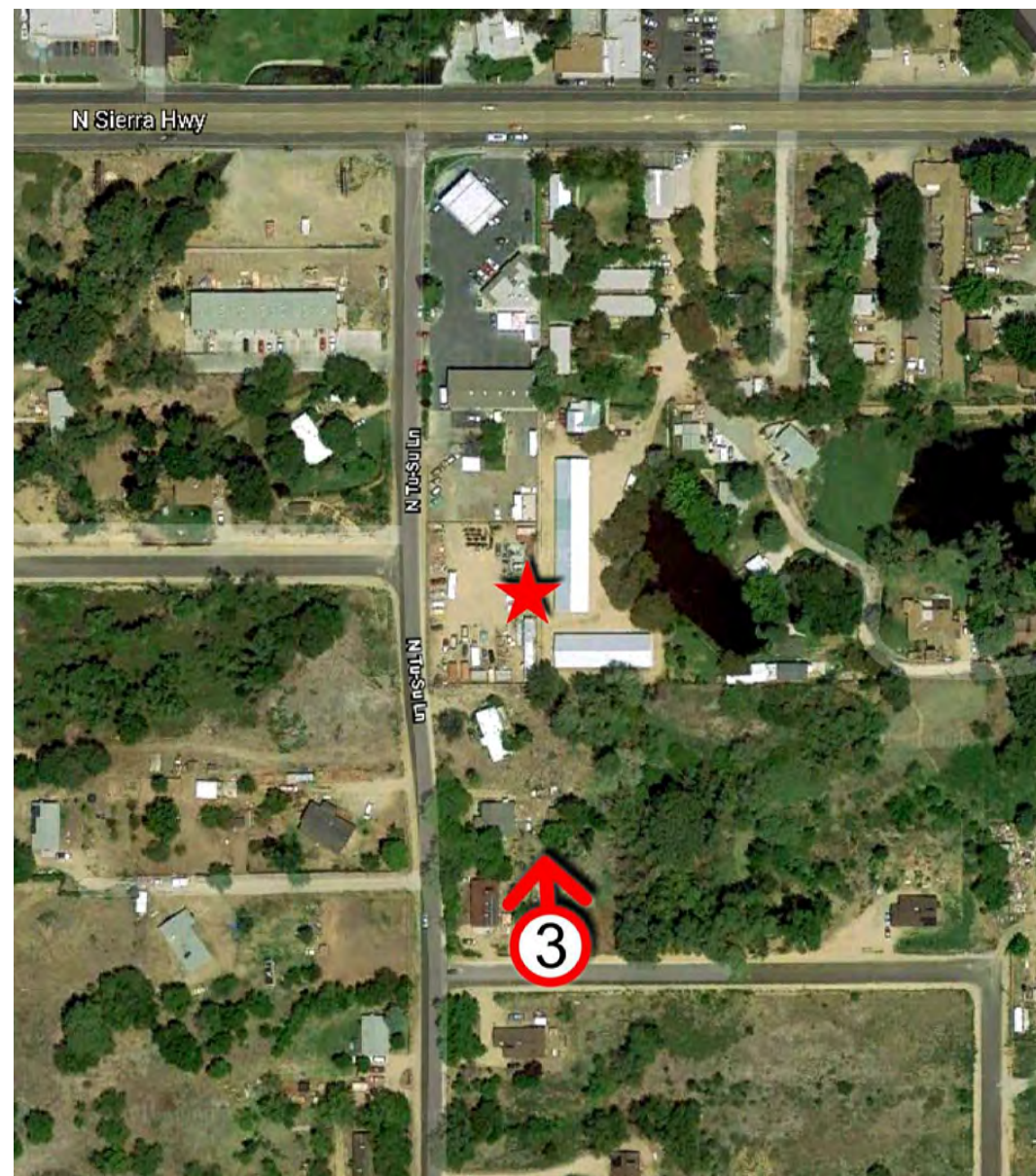
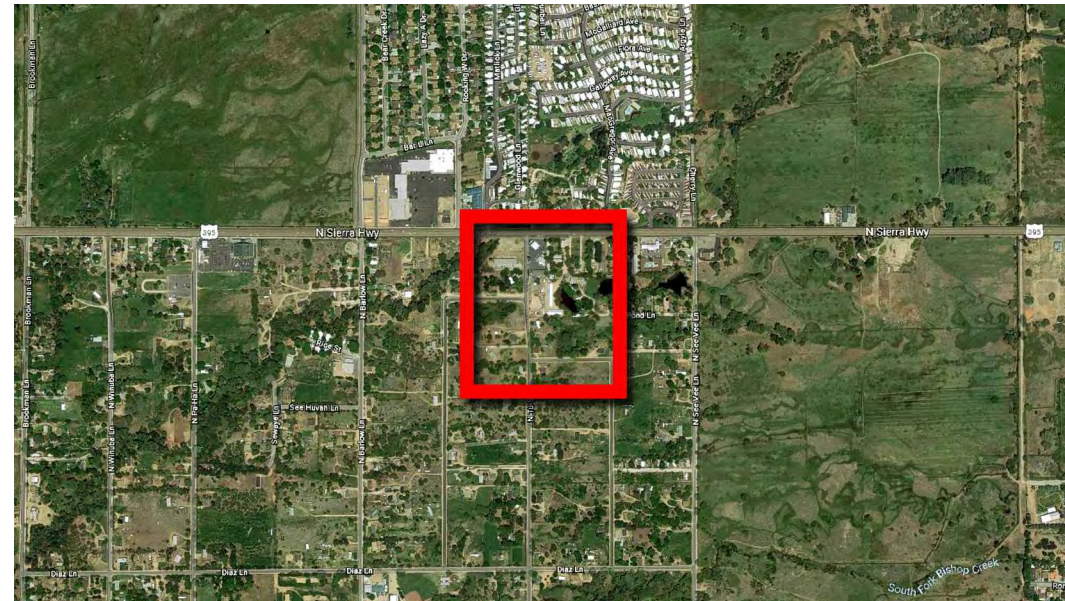
NEW



NOTE:
NEW VERIZON WIRELESS OUTDOOR EQUIPMENT ON NEW CONCRETE PAD, NEW H-FRAME W/ ELECTRICAL METER, INTERSECT CABINET & TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS, PROPANE TANK, STANDBY GENERATOR AND 100'-0" HIGH MONOPINE WITHIN 30'-0" x 30'-0" CHAIN LINK FENCE ENCLOSURE (LEASE AREA) - NOT SHOWN IN CURRENT VIEW

NEW VERIZON WIRELESS (9) PANEL ANTENNAS, (9) RRUS, (2) RAYCAPS AND (2) 6'Ø MICROWAVE ANTENNAS (W/ FUTURE WIRELESS CARRIER PANEL ANTENNAS), MOUNTED TO NEW 100'-0" HIGH MONOPINE

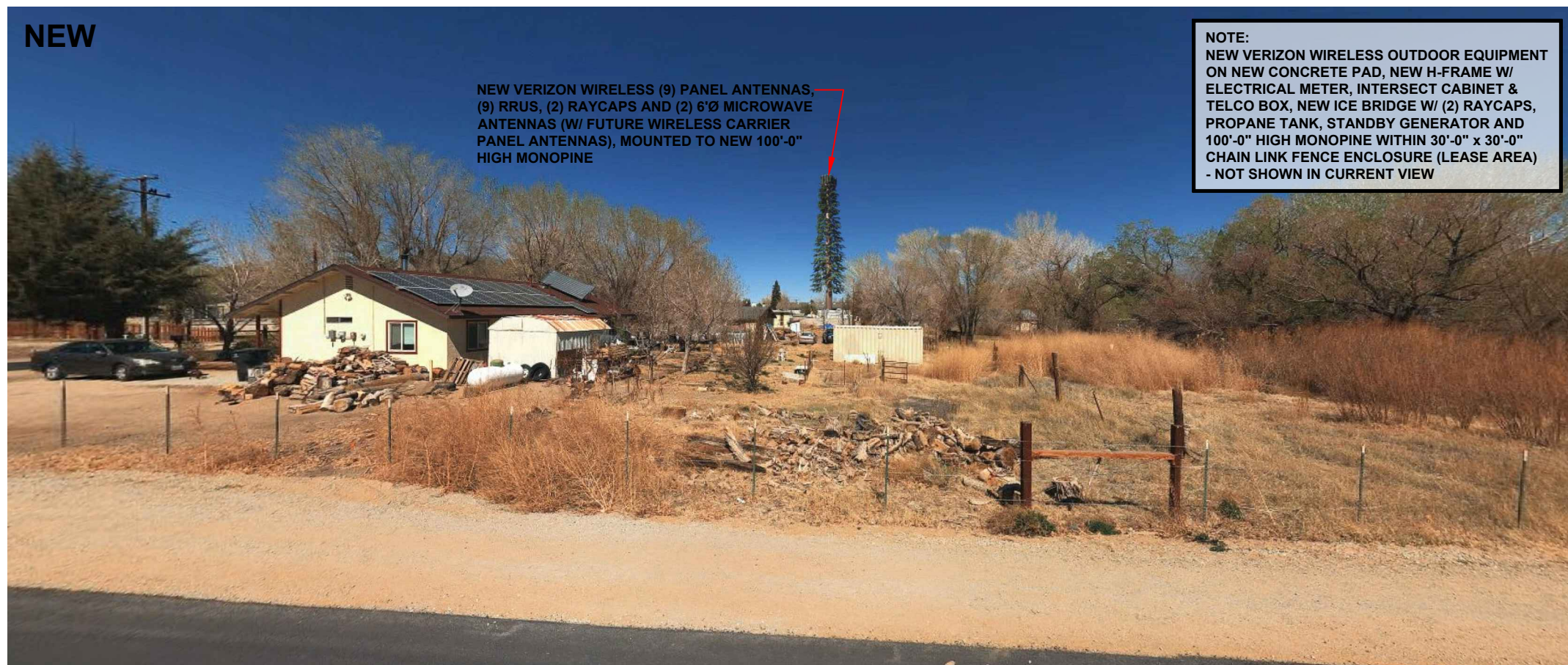
PHOTOSIMULATION VIEWPOINT 3



EXISTING



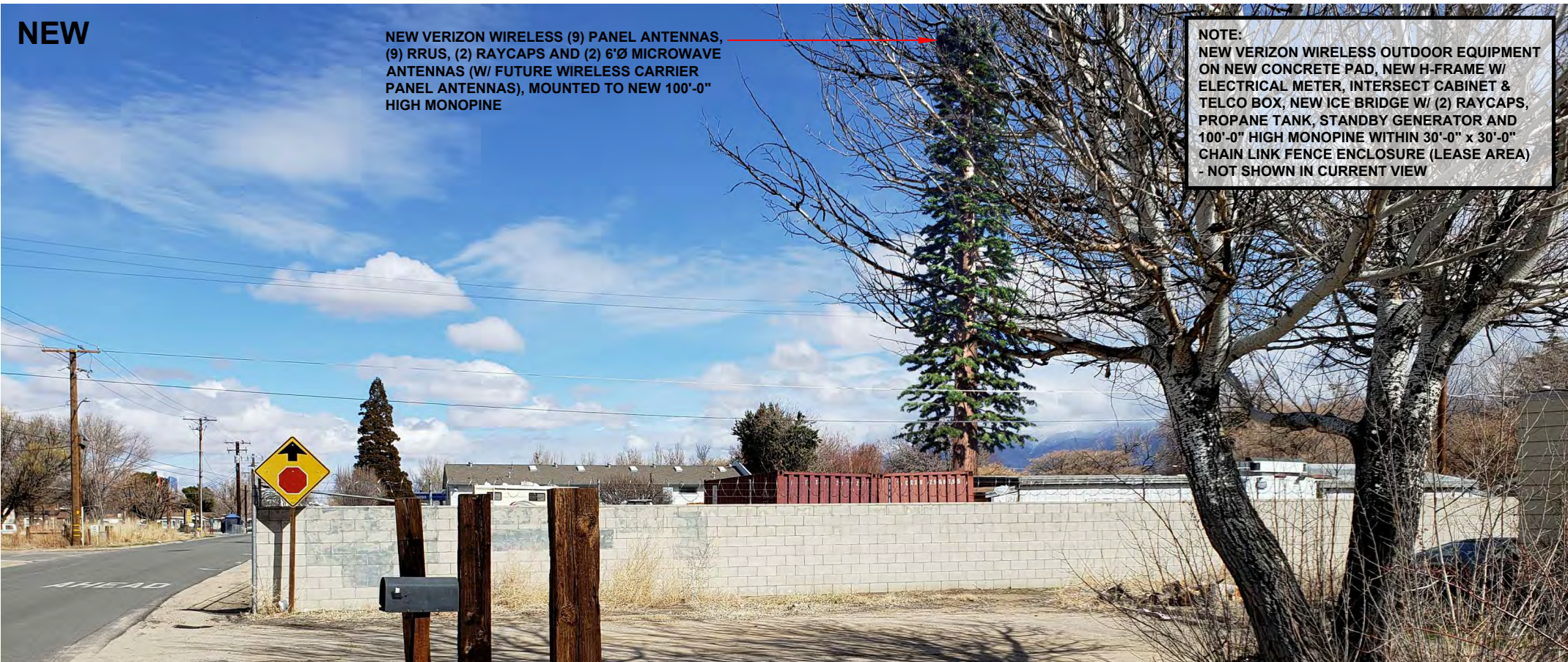
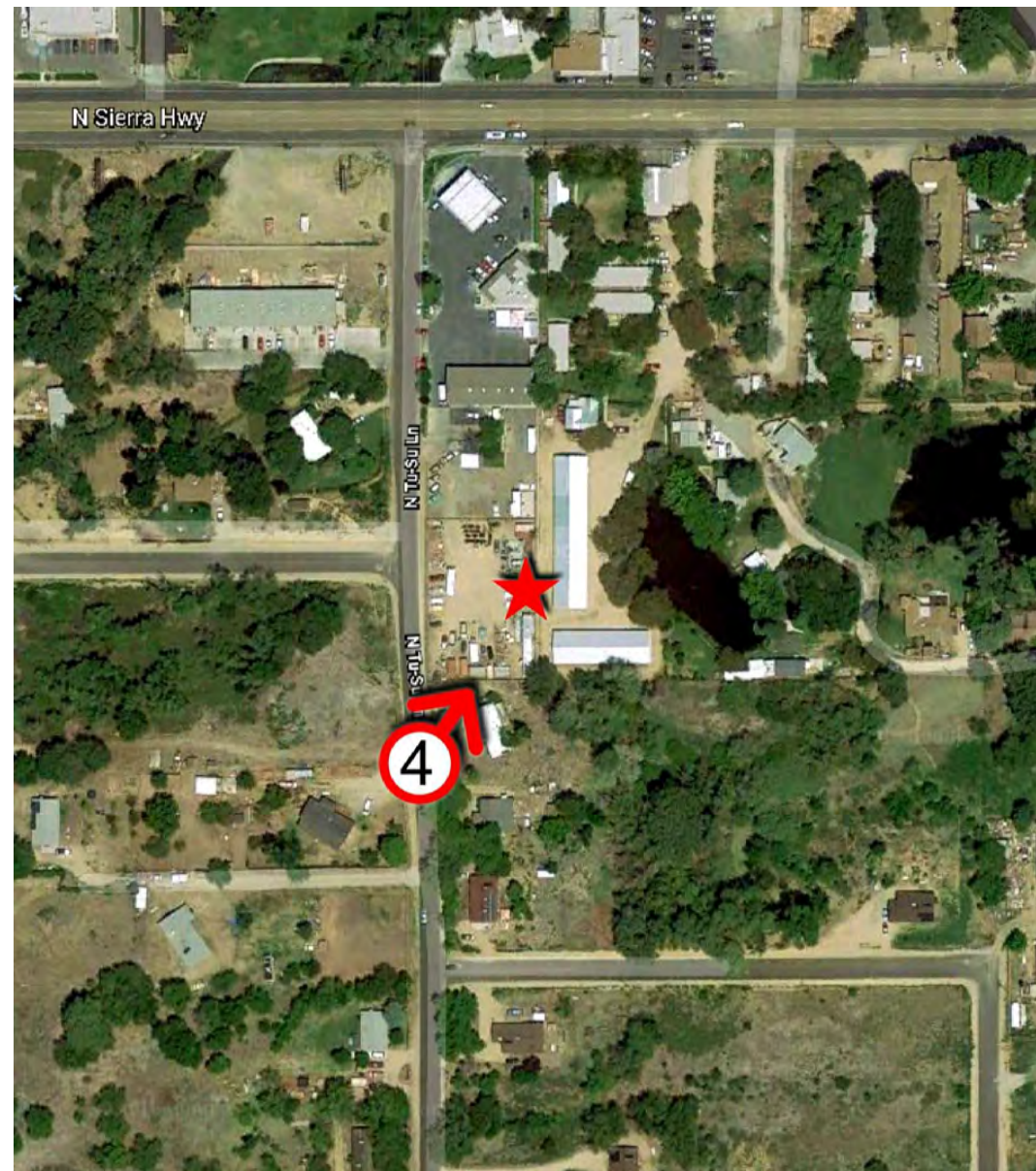
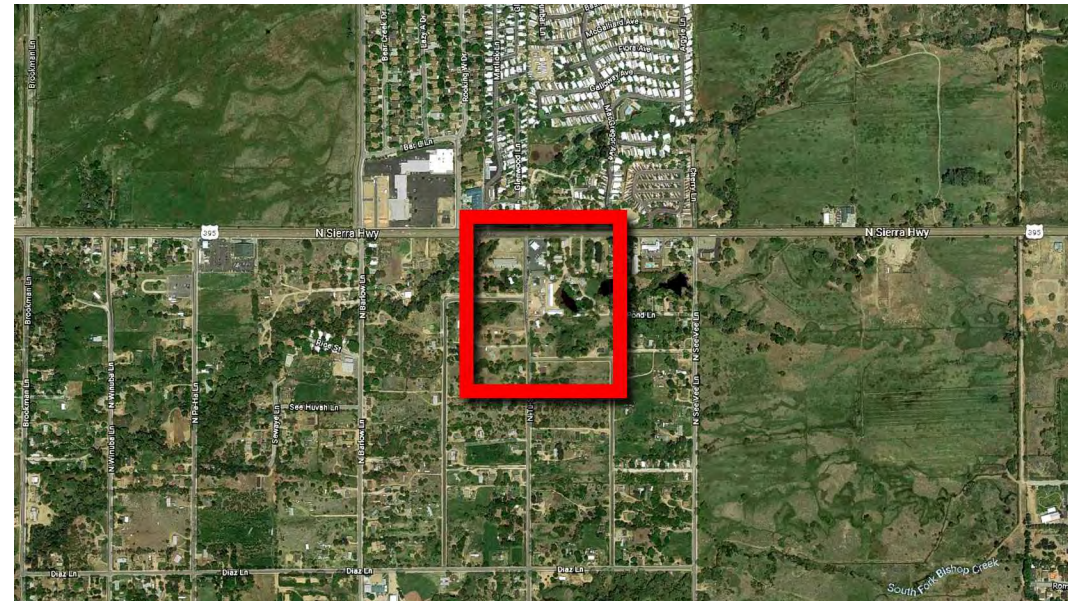
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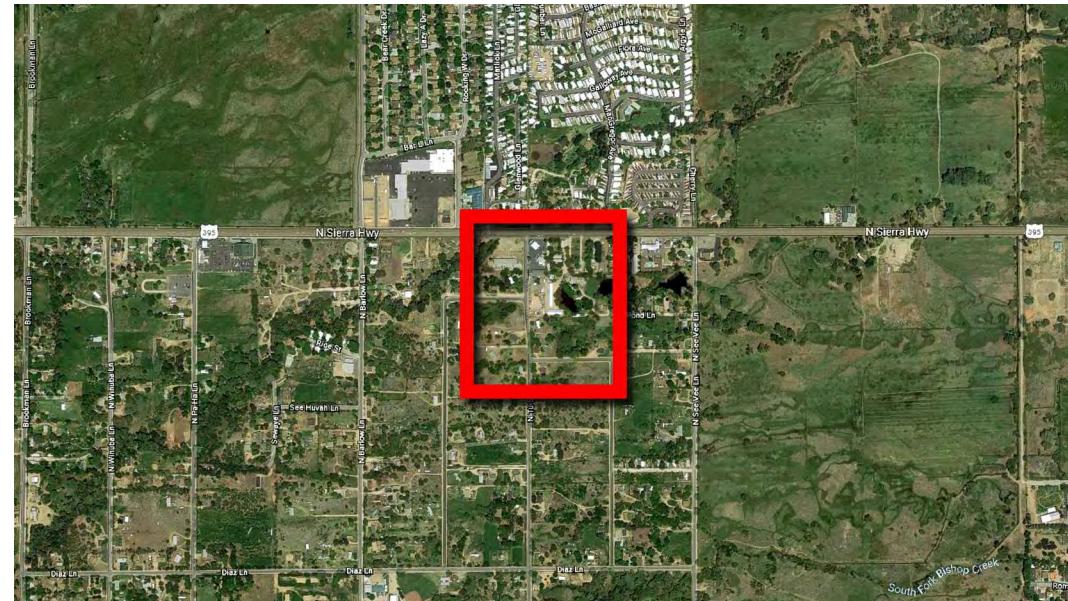
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NOTE:
NEW VERIZON WIRELESS OUTDOOR EQUIPMENT ON NEW CONCRETE PAD, NEW H-FRAME W/ ELECTRICAL METER, INTERSECT CABINET & TELCO BOX, NEW ICE BRIDGE W/ (2) RAYCAPS, PROPANE TANK, STANDBY GENERATOR AND 100'-0" HIGH MONOPINE WITHIN 30'-0" x 30'-0" CHAIN LINK FENCE ENCLOSURE (LEASE AREA) - NOT SHOWN IN CURRENT VIEW

PHOTOSIMULATION VIEWPOINT 4



PHOTOSIMULATION VIEWPOINT 5

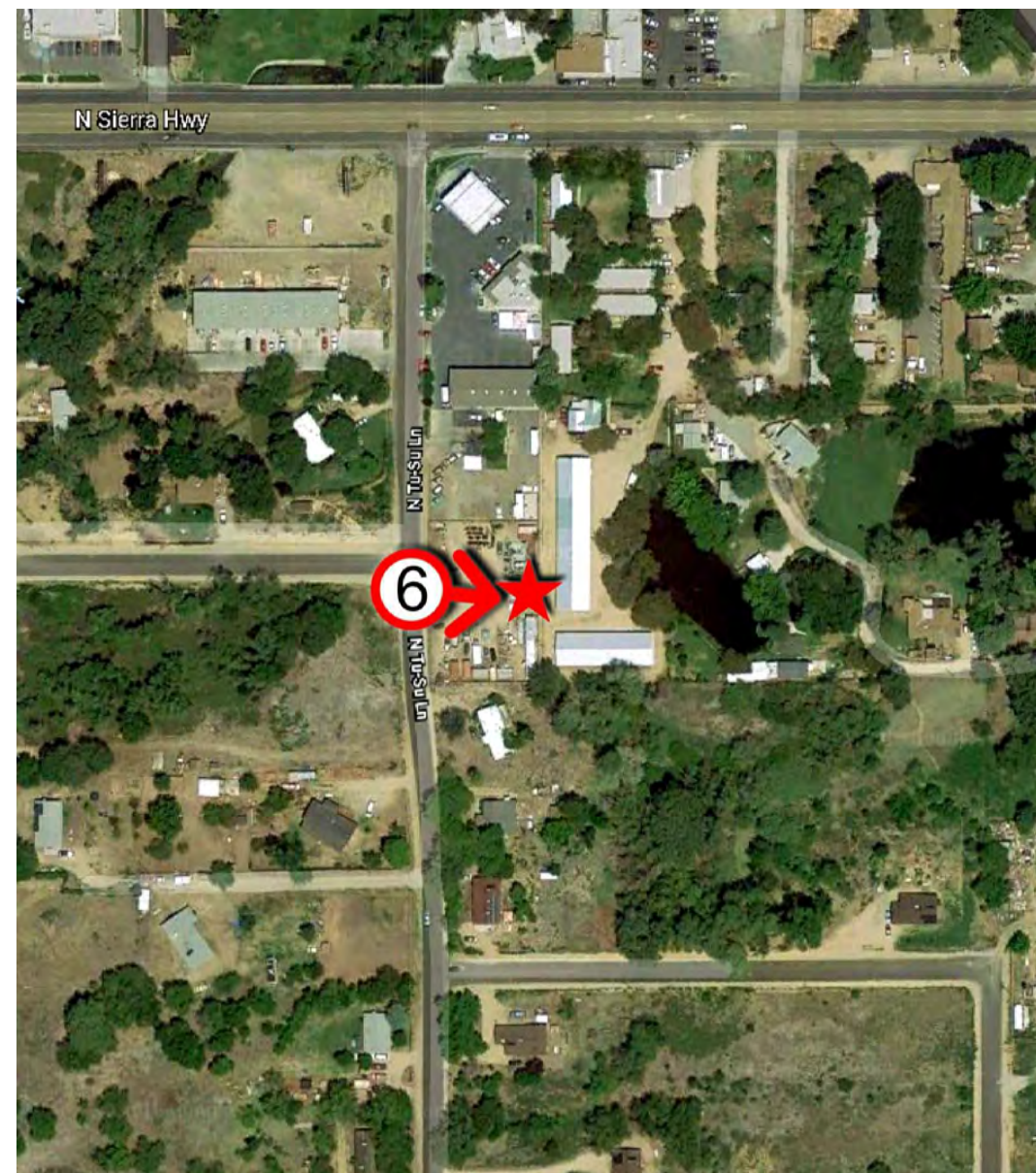
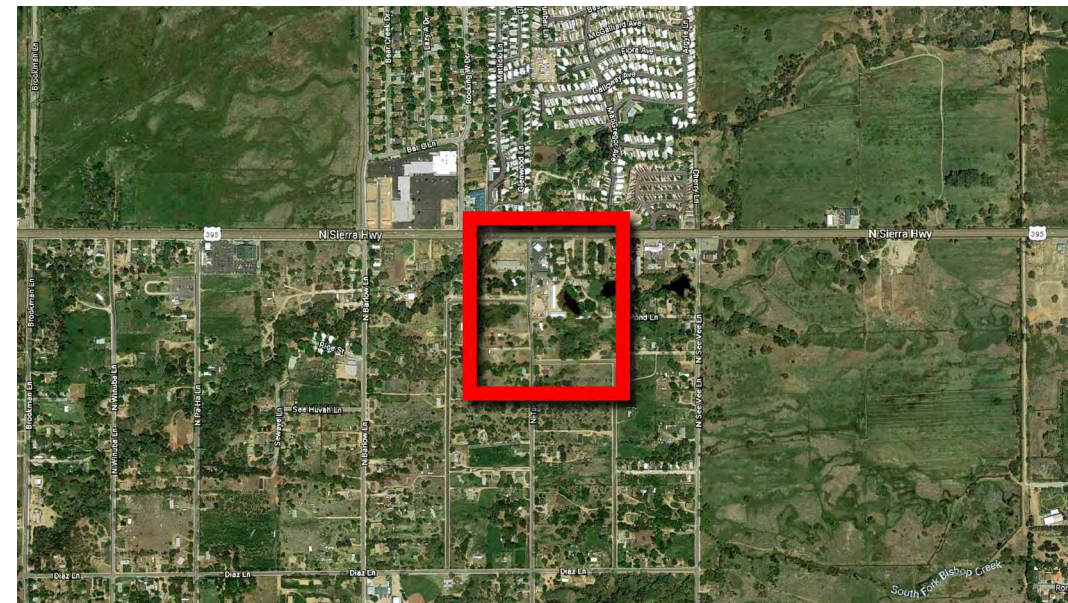


NEW

NEW VERIZON WIRELESS (9) PANEL ANTENNAS, (9) RRUS, (2) RAYCAPS AND (2) 6'Ø MICROWAVE ANTENNAS (W/ FUTURE WIRELESS CARRIER PANEL ANTENNAS), MOUNTED TO NEW 100'-0" HIGH MONOPINE

NOTE:
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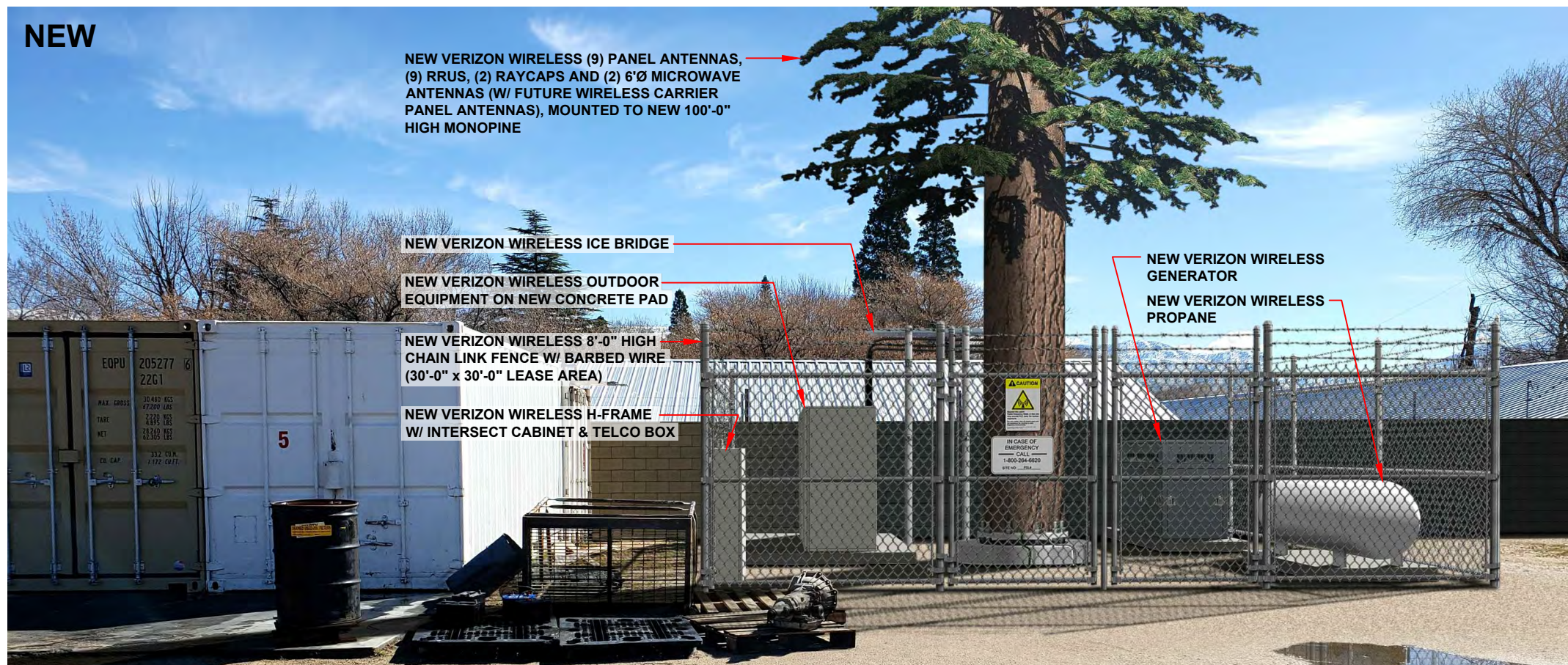
PHOTOSIMULATION VIEWPOINT 6



EXISTING



NEW





Planning Department
168 North Edwards Street
Post Office Drawer L
Independence, California 93526

Phone: (760) 878-0263
FAX: (760) 872-2712
E-Mail: inyoplanning@inyocounty.us

AGENDA ITEM NO.: 9 (Action Item – Public Hearing)

PLANNING COMMISSION MEETING DATE: May 29, 2019

SUBJECT: Telecom Plan 2019-02/Sprint

EXECUTIVE SUMMARY

The applicant has applied for approval of a Wireless Communication Plan (Telecom Plan) as required by Inyo County Code (ICC) Section 18.76. The Telecom Plan covers three sites. Two sites, located in Bishop (1280 N. Main St.) and near Olancho (1241 Sage Flats Drive), are already operational, allowed by previous approvals from the City of Bishop and Inyo County, but have not previously been identified as operated by Sprint through the Telecom Plan process. The other site is a proposed co-location on an existing telecommunications tower owned by SBA Communications and located at 20 Gills Station Coso Road at Coso Junction.

PROJECT INFORMATION

Supervisory District: 2 & 5 for tower locations, but County Wide impacts along the 395 corridor

Project Applicant: Sprint

Property Owner: SBA Communications and American Tower Corporation

Site Address: 1280 N. Main St., Bishop;
1241 Sage Flats Drive, Olancho;
20 Gill's Station Coso Road, Coso Junction

Communities: Bishop, Olancho, Coso Junction, California and the 395 corridor

A.P.N.: 008-040-03-03; 033-220-29; and 037-510-02-03

General Plan: City of Bishop; Residential Ranch (RR); and Retail Commercial (RC)

Zoning: City of Bishop; Rural Residential – ten acre minimum – Mobilhome Overlay Zone (RR-10.0-MH); and Heavy Commercial (C4-10,000)

Size of Parcel: 1.36 Acres; 5 Acres; and 18.55 Acres

Staff Recommended Action: **Make certain Findings with respect to and Approve Telecom Plan 2019-02/Sprint, subject to the Conditions of Approval as recommended in this staff report.**

Alternatives:

- 1.) Deny the Telecom Plan.
- 2.) Approve the Telecom Plan with additional Conditions of Approval.
- 3.) Continue the public hearing to a future date, and provide specific direction to staff regarding what additional information and analysis is needed.

Project Planner: Tom Schaniel, Associate Planner

STAFF ANALYSIS

Background and Overview

The tower owner, on behalf of the applicant, applied for a building permit to co-locate wireless facilities at an existing tower located at the Coso Junction Chevron Station, which has an address of 20 Gill’s Station Coso Road. The applicant was informed that Sprint does not currently have a Wireless Communication Plan (Telecom Plan) in Inyo County. Sprint subsequently prepared and applied for approval of a Telecom Plan.

Wireless communications in Inyo County are governed by Chapter 18.76 of the Inyo County Code (ICC) – Regulation of Wireless Communication Facilities. Section 18.76.050(A) requires all Telecom Plans in the County be approved by the Planning Commission. It also establishes that when considering a Telecom Plan, the Planning Commission shall be guided by the relevant portions of Chapter 18.76. The applicant has 2 existing locations within Inyo County, which are currently permitted, but are not under a Sprint Telecom Plan. The application covers 3 sites, the 2 existing sites and the one proposed co-location site. The Project would provide increased public safety, and bring wireless service to areas of the County that currently do not have it from this provider.

The two existing locations are properly permitted, but are included in this Telecom Plan, because existing permitting does not connect these sites to the current operator, Sprint.

- The communications tower site at 1280 North Main Street is located in the back portion of a property that contains a tire repair facility and offices and a small yard for a trash and septic company. This site is within the City of Bishop. As such, the City of Bishop is the jurisdiction that permitted the installation and operation of the communication tower. The site is included because some of the aims of Chapter 18.76 of the Inyo County Code are to “facilitate the provision of county-wide wireless communications, while addressing”... “the unregulated placement of wireless communications facilities in the unincorporated part of the county (that) may result in incompatible land uses.” While this site is in an incorporated portion of the County, it is in close proximity and serves unincorporated portions of the County, and as such, recognition of the facilities at this location in a Telecom Plan helps to create a complete accounting of this

provider's facilities in Inyo County. This information may help guide decisions for Sprint and other providers proposing to change or expand operations in the County and specifically in the greater Bishop area.

- The site at 1241 Sage Flats Drive is located on a rural residential lot. There is currently a mobile home also located on the property. The communication tower was permitted in 2001 by Conditional Use Permit (CUP) #2001-03 and Variance #2001-03 by Com Plus. The site was covered under the Interconnect Towers, LLC Wireless Communications Plan last revised April 2, 2003, and originally served the wireless carrier Nextel. Nextel was acquired by Sprint and it appears that these operations were acquired through that merger. This site is covered under the old Interconnect Towers telecom plan, but, with the requirement of a new Sprint plan for the proposed facilities, it is appropriate to include these existing Sprint facilities in the new Sprint Telecom Plan, keeping a current record of Sprint's facilities within the County.

The one proposed location is already a permitted tower and is covered under existing permits.

- The site at 20 Gill's Station Coso Road is located on a property that is zoned both Highway Services and Tourist Commercial (C2) at the Chevron Gas Station and Mini-Mart, and Heavy Commercial at the communications tower location. The communication tower was permitted in 2000 by Conditional Use Permit (CUP) #2000-09 and Variance #2000-04 by SBA Communications. The site was covered under the AT&T Wireless, Wireless Communications Plan last revised February 14, 2003. While properly permitted as a tower and for the AT&T communication facilities, Sprints co-location of facilities has not been permitted or recognized in any Telecom Plan. Therefore, this installation necessitated the creation of a Sprint Telecom plan for Inyo County. Sprint will also obtain required building permits for the communications equipment to be added to the tower and support facilities within the existing fenced area on the ground.

General Plan Consistency

The location in Bishop is not in the County's jurisdiction and therefore consideration of the General Plan consistency is not appropriate for this site. The consistency of the General Plan was reviewed for both the Sage Flats and Coso Junction sites at the time of their CUP issuance.

General Plan policy PSU-7.1 reads: *The County shall encourage the provision of communications and telecommunications services and facilities to serve existing and future needs.* General Plan policy PSU-7.5 reads: *The County shall require compliance with the Wireless Communications Guidelines for siting of communications towers in unincorporated areas of the County.* The telecom plan process helps to further these General Plan goals.

Zoning Ordinance Consistency

The location in Bishop is not in the County's jurisdiction and therefore consideration of the Zoning Ordinance consistency is not appropriate for this site. At the Sage Flats site

“Public and quasi-public buildings and uses of ... public service nature” are allowed by CUP, which was obtained for this communication tower installation. At the Coso Junction site, “Public and quasi-public buildings and uses of ... public service nature” are allowed as a principal permitted use. Both sites exceed code height limits and obtained Variances to address this limit.

Review of Wireless Plan (ICC §18.76.050)

Section 18.76.050(K) of the Inyo County Code, states that: *Any person wishing to construct, install, expand, or modify any wireless telecommunications facility in the unincorporated part of Inyo County shall, prior to such activity, apply for and gain approval by the Inyo County planning commission of a wireless communications plan in accordance with this chapter.* It also establishes that in considering a plan, the planning commission shall be guided by the relevant portions of chapter 18.76. Section 18.76.050(E) of the ICC outlines the requirements for approval of telecommunications plans and specifies that: *after discharging its duties as the environmental review board accordance with ICC §15.12.040, the Planning Commission shall approve the wireless communications plan if it finds:*

- That the Plan is in substantial compliance with the requirements of this chapter (i.e., Chapter 18.76).
This plan meets all of the requirements outlined in Chapter 18.76, including information on sites that are under other jurisdictional areas and are covered under previous Telecom Plans. By including existing and proposed site, the Plan provides a complete assessment of Sprint’s current facilities within the County.
- That the applicant has made a good faith effort and commitment to meeting the standards and goals of this chapter.
Sprint has created a complete Telecom Plan, including both existing and proposed facilities, as well as graphics and photographs for a thorough presentation of their facilities. These actions show a good faith effort by the applicant to meet the standards as outlined in chapter 18.76.050(E) and (K) and will result in a Plan that is compliant with County Code.
- That none of the entities listed in subsection B(4) have interposed an objection to the plan (i.e., Edwards, China Lake or Ft. Irwin).
The entities listed under B(4) were contacted and did not provide any objections to this proposed plan during the process.
- That execution of the plan will not pose or create a threat to the health, safety, or welfare of the public.”
All locations covered under this site are either existing or are co-locations at an existing telecommunications tower. The Plan will not create a threat to the health, safety and welfare of the public. The Plan will help facilitate prevention of unregulated placement of wireless communication facilities, as is one of the main purposes of the County’s Code Section 18.76

Noticing and Review

The applicant noticed public agencies, including military agencies, of this Telecom Plan, as required by the Section 18.76 of the ICC. None of these agencies have contacted the applicant or Planning Department at the time of this report's preparation. The City of Bishop Public Works Department was consulted about this report's covering of a tower in their jurisdiction, and they requested copies of all materials that pertained to their site, but otherwise had no comments. The Planning Commission hearing for Telecom Plan 2019-02/Sprint was advertised in the Inyo Register on May 18, 2019 and notices were mailed to properties within 300-feet of all there referenced telecommunication sites location. Staff has received no comments from the public.

ENVIRONMENTAL REVIEW

As per Section Two of the approved County Ordinance (Chapter 18.73), the Telecom Plan was reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA guidelines, and the County's environmental procedures, and was found to be exempt pursuant to Section 15031, Existing Facilities, of the CEQA guidelines. Section 15031 reads: *Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. ... The key consideration is whether the project involves negligible or no expansion of an existing use.* The two existing facilities are included in this Telecom plan to complete the record of Sprints facilities but are entirely existing facilities. The proposed facilities at Coso Junction are an existing tower, with only co-location of antennas and support facilities. This is a minor alteration and within the scope of the existing CUP and Variance.

RECOMMENDATION

Planning Department staff recommends the approval of Non-Hosted Short Term Rental Permit No. 2018-17/Wilson, with the following Findings and Conditions of Approval:

FINDINGS

1. The proposed Telecom Plan is exempt under CEQA Guidelines 15031, Existing Facilities, and the provisions of the California Environmental Quality Act have been satisfied.
[Evidence: Pursuant to Section 15031, Existing Facilities, of the CEQA guidelines, the proposed permit application constitutes minor alteration of existing facilities.]
2. The proposed Telecom Plan is consistent with the Inyo County General Plan Land Use designation of Residential Very Low Density (RVL).
[Evidence: The proposed project is consistent with the goals and policies of the General Plan's Land Use designations and with PSU-7.1 and PSU-7.5 which address telecommunication facility goals in the County.]

3. The proposed Telecom Plan is consistent with the Inyo County Zoning Ordinance.
[Evidence: The Telecom Plan Update, as proposed, meets all the requirements of Chapter 18.76 of the Inyo County Code, and the required findings as outlined in ICC §18.76.050(E) as described above.]
4. The proposed Telecom Plan is necessary or desirable.
[Evidence: The expansion of telecommunications services while limiting the unregulated placement of wireless facilities is one of the stated goals of Chapter 18.76 of the ICC. This plan is aligned with both of those goals and is therefore necessary and desirable.]
5. The proposed Telecom Plan would not, under all the circumstances of this case, affect adversely the health or safety of persons living or working in the vicinity or be materially detrimental to the public welfare.
[Evidence: The Telecom Plan will not cause any additional impacts to persons working or living in the vicinity of any sort. The implementation and completeness of the Telecom Plan will help limit the possibility of future adverse impacts to public welfare.]
6. The Telecom Plan is necessary
[Evidence: Chapter 18.76 states that all telecommunications facilities (barring exemptions under 18.76.030 D, which do not apply to these facilities) must be covered under a Telecom Plan approved by the Planning Commission. Not only do the proposed facilities necessitate this plan, but existing facilities are also covered, even though they are either in another jurisdiction or under a previous Telecom Plan. This helps to facilitate the completeness and usefulness of the Telecom Plan in guiding future telecommunications development.]

CONDITIONS OF APPROVAL

1. The applicant, landowner, and/or operator shall defend, indemnify and hold harmless Inyo County agents, officers, and employees from any claim, action or proceeding against the County or its agents, officers, or employees to attack, set aside, void or annul an approval of the county, its advisory agencies, its appeals board, or legislative body concerning Non-Hosted Short Term Rental Permit No. 2018-17/Wilson. The County reserves the right to prepare its own defense.
2. Compliance with County Code
 - a) The applicant/developer shall conform to all applicable provisions of the Inyo County Code. □
 - b) Conformance with Approved Wireless Telecom Plan:
All subsequent development of wireless communications facilities under this Telecom Plan including this update shall be in substantial conformance with the approved Sprint Wireless Communications Plan for Inyo County. If future proposals are not in substantial conformance with the approved Plan, a request for approval of a modification to the approved Plan shall be submitted to the

Planning Commission for approval prior to consideration of any subsequent applications for Conditional Use Permit and/or Variance applications, or any subsequent development of wireless communications facilities in Inyo County.

Attachments

Sprint Wireless Communications Plan for Inyo County



6391 Sprint Parkway
Overland Park, KS 66251-2650

Wireless Communications Plan for Inyo County, California
2019

Submitted by:

Rich Cascio, Jr.
Network Project / Program Manager III / Central Valley
12657 Alcosta Blvd. Suite 300
Bishop Ranch 15
San Ramon, CA 94583-4602 (U.S.A.)
Wireless: (925) 262-6845
Richard.Cascio@Sprint.com



Submitted: February 12, 2019

1. Introduction

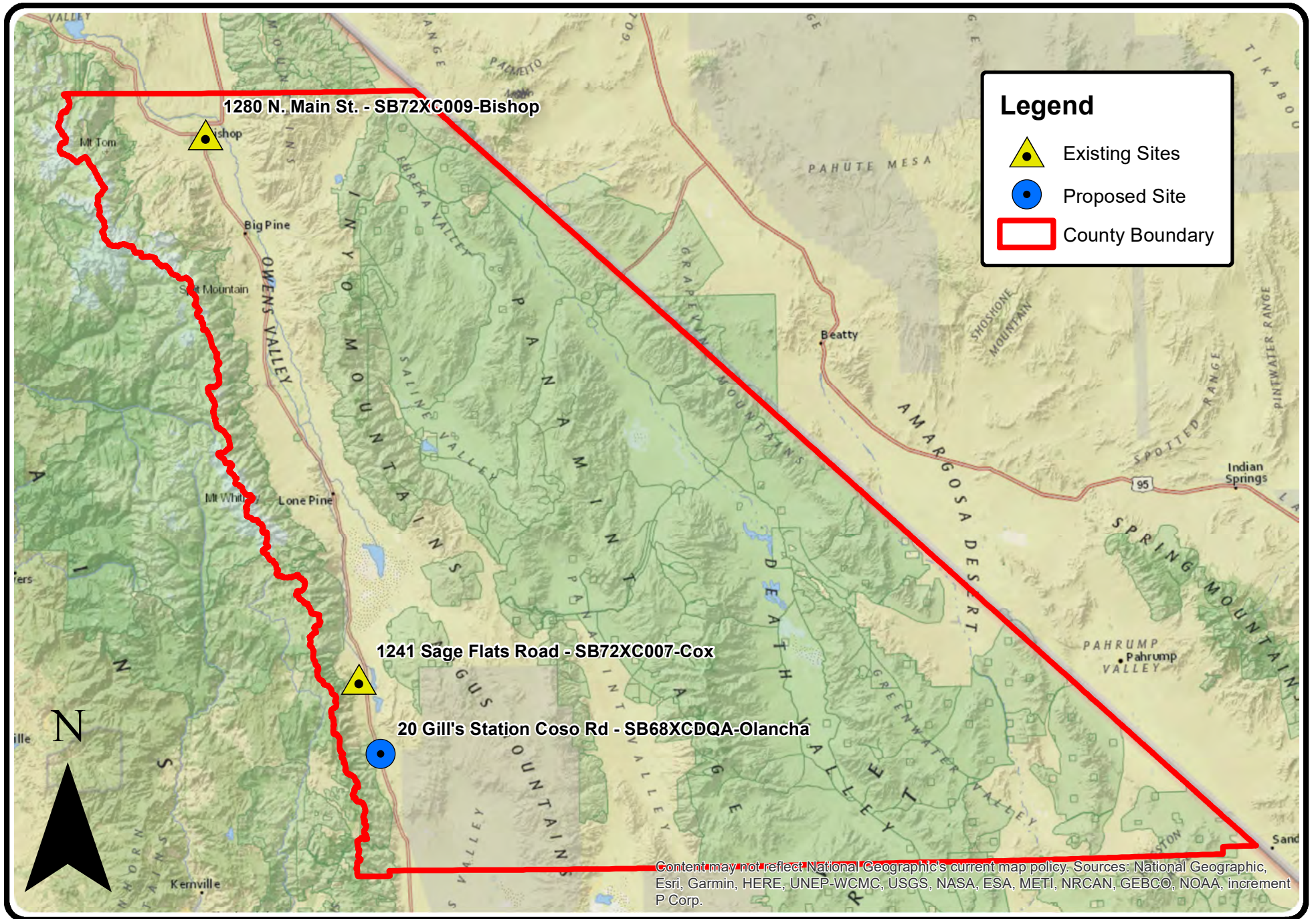
Sprint provides wireless service in Inyo County.

This wireless plan for Inyo County is presented to comply with Inyo County's telecommunications ordinance.

Sprints existing and proposed facilities, in combination with the approval of this telecommunications plan, will be in compliance with Inyo County Code. Sprint is committed to maintaining existing facilities, developing proposed facilities, and any future, as yet unforeseen facility development, being in full compliance with Inyo County Code and the standards and measures of that code concerning design, location, configuration, deployment and removal of wireless facilities in Inyo County. Current and proposed facilities include 2 co-location sites out of 3 sites total, in keeping with the goals of the Inyo County telecommunications ordinance.

On the following page is a map of all facilities, in the County, existing and proposed.

Sprint Telecom Site Locations - Inyo County



0 25 50 100 Miles

2. Existing Wireless Communication Facilities

The two (2) existing wireless communications facilities are described as follows:

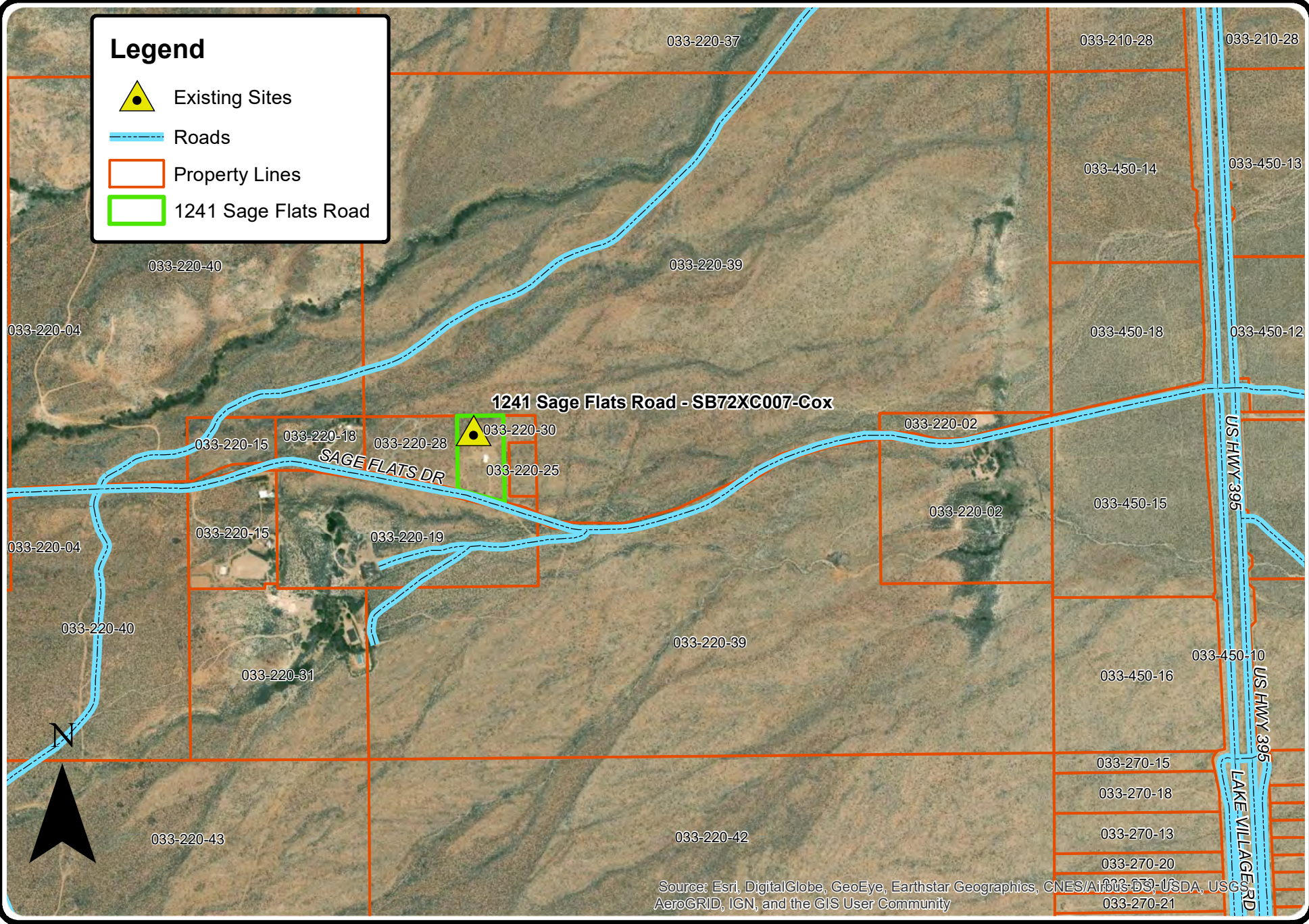
Existing Site, SB72XC007-Cox:

- Sprint is collocated on an ATC 151' tall monopole. Sprint's Rad. Center is at a height of 140' up the tower.
- Site is located at 1241 Sage Flats Drive, Olancho, CA 93549
- Latitude: 36.209306 / Longitude: -117.999304
- Service provided using 2 Andrew antennas, UMWD-06513-XDH for alpha & beta sectors.
- Site operates at 800 MHz & 1900 MHz
- Coverage Objectives: Highway 395 & immediate surrounding vicinity in the Olancho/Haiwee area.

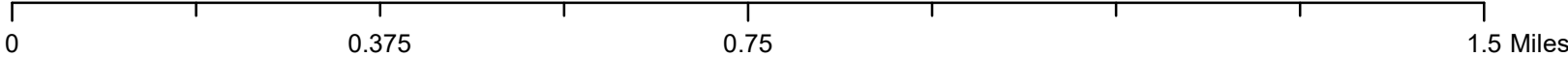
Sprint Existing Telecom Site - SB72XC007-Cox

Legend

- Existing Sites
- Roads
- Property Lines
- 1241 Sage Flats Road



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



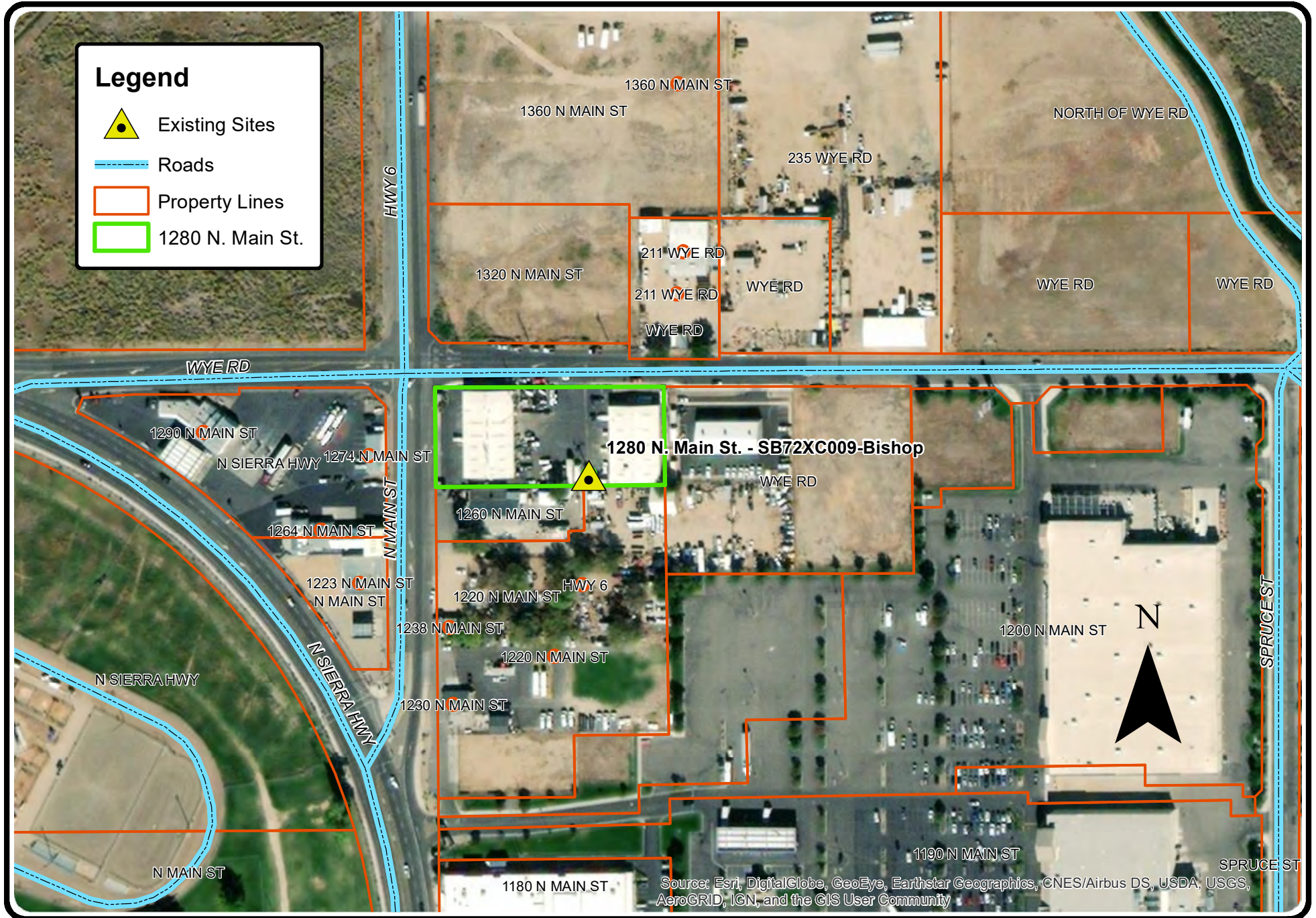
1241 Sage Flats Drive, Olancho – SB72XC007-Cox



Existing Site, SB72XC009-Bishop:

- Sprint is collocated on an SBA 62' tall monopole. Sprint's Rad. Center is at a height of 60' up the tower.
- Site is located at 1280 North Main Street, Bishop, CA 93514
- Latitude: 37.37530555 / Longitude: -118.39438890
- Service provided using 3 RFS antennas, APXVSPP18-C-A20 for alpha, beta & gamma sectors.
- Site operates at 800 MHz & 1900 MHz
- Coverage Objectives: Highway 395, Highway 6, and the community of Bishop.

Sprint Existing Telecom Site - SB72XC009-Bishop



0 375 750 1,500 Feet

1280 North Main Street, Bishop – SB72XC009-Bishop



3. Proposed Wireless Communication Facilities

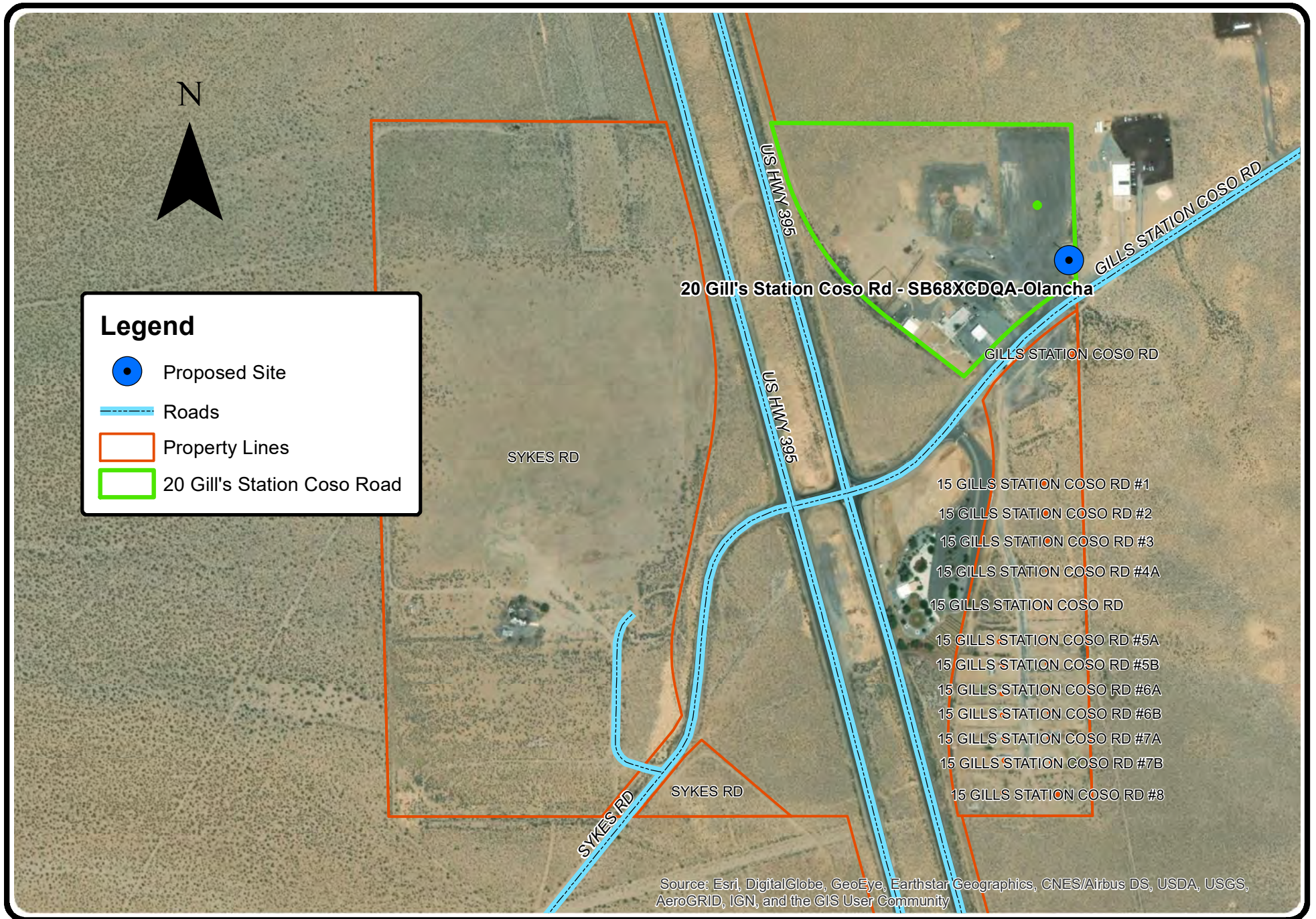
The proposed wireless communications facilities are described as follows:

Proposed Site, SB68XCDQA-Olancha:

- Sprint is proposing to collocate on an existing SBA 150' tall monopole. Sprint's proposed Rad. Center is at a height of 130' up the tower.
- Site is located at 20 Gill's Station Coso Road, Olancha, CA 93549
- Latitude: 36.048326 / Longitude: -117.944303
- Service to be provided using 2 RFS antennas, APXVSPP18-C-A20 for alpha & beta sectors.
- Site operates at 800 MHz & 1900 MHz
- Coverage Objectives: Highway 395 in the Coso Junction/Rose Valley area.

Construction drawings for proposed site, including co-location and support facilities are included as **Attachment A**.

Sprint Proposed Telecom Site - SB68XCDQA-Olancha



0 1,000 2,000 4,000 Feet

20 Gill's Station Coso Road, Coso Junction –SB68XCDQA-Olancha



4. Future Wireless Communication Facilities

The existing plus the proposed facilities are the extent of Sprint's telecommunications build-out plan for Inyo County at this time.

Since no anticipated facilities are included within this Plan, any future facilities will necessitate an amendment to this plan. Sprint understands that future amendments that are beyond the scope anticipated by this plan will require approval of the Inyo County Planning Commission.

5. Coverage

Following are coverage maps, showing the coverage first of existing facilities, then of existing facilities plus the proposed facilities anticipated by this plan.

6. Required Notification

After the coverage maps is proof of mailings of this plan to the agencies required in the Inyo County Code. Any response received from these agencies will be forwarded to the Inyo County Planning Department.

Sprint Coverage with Existing Facilities



Sprint Coverage with Existing plus Proposed Facilities



Please accept the attached as proof that a copy of the Sprint wireless plan for Inyo County, California has been submitted to all required agencies.

Rich Cascio, Jr.

X 

ORIGIN ID:NGZA (925) 380-2249
RICHARD CASCIO
SPRINT/UNITED MANAGEMENT CO
12657 ALCOSTA BLVD, SUITE 300

SHIP DATE: 11FEB19
ACTWGT: 1.00 LB
CAD: 112935471/WSX13100

SAN RAMON, CA 94583
UNITED STATES US

BILL SENDER

TO **TOM SCHANIEL**
INYO COUNTY PLANNING DEPARTMENT
168 N EDWARDS ST

INDEPENDENCE CA 93526

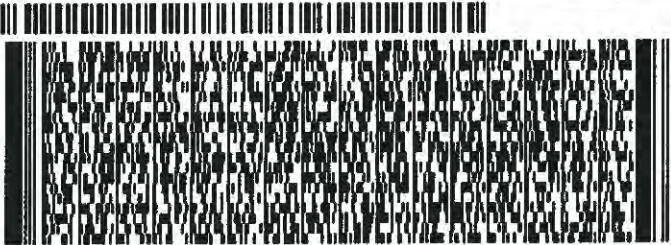
(760) 878-0405

REF

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** 2DAY **

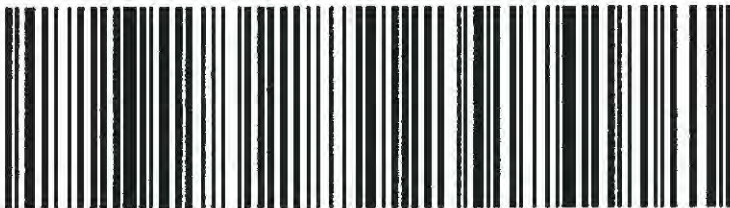
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0201

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CM BIHA

93526

CA-US **ONT**



ORIGIN ID:NGZA (925) 380-2249
RICHARD CASCIO
SPRINT/UNITED MANAGEMENT CO
12657 ALCOSTA BLVD, SUITE 300

SHIP DATE: 07FEB19
ACTWGT: 1.00 LB
CAD: 112935471/WSX13100

SAN RAMON, CA 94583
UNITED STATES US

BILL SENDER

TO **SAM J. MILLER, PLANNING E.R.**
CHINA LAKE NAVAL AIR WEAPONS CTR.
CODE 83BB00D

CHINA LAKE CA 93555

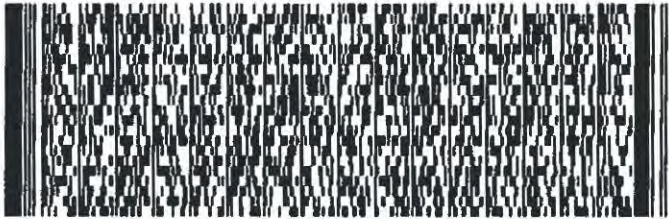
(925) 262-6845

REF

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STANDARD OVERNIGHT

TRK#
0201

7853 7701 9337

WM IYKA

93555

CA-US **ONT**



ORIGIN ID:NGZA (925) 380-2249
RICHARD CASCIO
SPRINT/UNITED MANAGEMENT CO
12657 ALCOSTA BLVD, SUITE 300

SHIP DATE: 11FEB19
ACTWGT: 1.00 LB
CAD: 112935471WVSX13100

SAN RAMON, CA 94583
UNITED STATES US

BILL SENDER

TO ATC CHIEF
BICYCLE LAKE ARMY AIRFIELD, FORT IR
FORT IRWIN

FORT IRWIN CA 92310

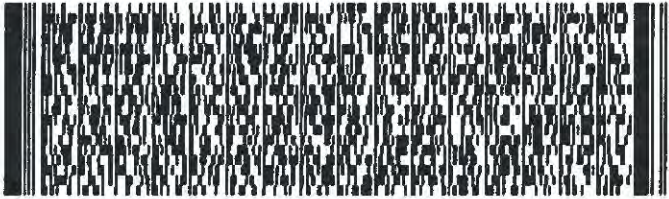
(925) 262-6845

REF

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PG

DEPT 13364

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Express



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** 2DAY **

TRK#
0201

7854 3614 2054

CM DAGA

92310

CA-US ONT



Sprint



PROJECT: RURAL ROAMING
 SITE NAME: OLANCHA
 SITE CASCADE: SB68XCDQA
 SBA SITE #: CA20549A
 SITE ADDRESS: 20 GILL STATION COSO RD.,
 OLANCHA, CA 93549
 SITE TYPE: MONOPOLE

PLANS PREPARED FOR:
Sprint
 6591 Irvine Center Drive, Suite 100
 Irvine, California 92618

PLANS PREPARED BY:
INFINIGY8
 FROM ZERO TO INFINIGY
 the solutions are endless
 26455 RANCHO PARKWAY SOUTH
 LAKE FOREST, CALIFORNIA 92630
 JOB #448-003

EQUIPMENT MANUFACTURER:
Alcatel-Lucent

CONSULTANT:
SBA
 SBA COMMUNICATIONS CORP
 510 GOETZ AVE
 SANTA ANA, CA 92707

ENGINEERING LICENSE:

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REVISIONS DESCRIPTION	DATE	BY	REV
90% CD's	08/24/18	CH	0
100% CD's	09/24/18	CH	1
100% CD's	10/11/18	JPC	2

SITE NAME:
OLANCHA

SITE CASCADE:
**SB68XCDQA
 CA20549A**

SITE ADDRESS:
 20 GILL STATION COSO RD.,
 OLANCHA, CA 93549

SHEET DESCRIPTION:
TITLE SHEET

SHEET NUMBER:
T-1

SITE INFORMATION

PROPERTY OWNER:
 COSO JUNCTION STORE INC.
 1755 S BRADY STREET
 RIDGECREST, CA 93555

LATITUDE (NAD83):
 N 36° 02' 54.00" NAD83
 N 36.048326° NAD83

LONGITUDE (NAD83):
 W -117° 56' 39.50" NAD83
 W -117.944303° NAD83

COUNTY:
 INYO

ZONING JURISDICTION:
 INYO COUNTY

ZONING DISTRICT:
 C-4 (HEAVY COMM)

POWER COMPANY:
 SCE

PARCEL NUMBER(S):
 037-510-02

SPRINT AGENT:
 SBA COMMUNICATIONS CORPORATION
 510 GOETZ AVE.
 SANTA ANA, CA 92707

PROPERTY SPECIALIST:
 CONTACT: ALLEN ROLISON
 PHONE: 949.398.050 X 1806
 CELL: 949.610.2587
 EMAIL: ARolison@sbasite.com

AREA MAP



LOCATION MAP



PROJECT DESCRIPTION

- INSTALL (2) NEW 800/1900MHz DUAL BAND PANEL ANTENNAS (1 PER SECTOR)
- INSTALL (1) NEW 3'Ø BACKHAUL SATELLITE DISH
- INSTALL (1) RRH 800MHz WITH SPLITTER
- INSTALL (1) NEW GPS ANTENNA
- INSTALL (2) NEW 1-1/4" HYBRIFLEX FIBER/DC POWER CABLES TO NEW ANTENNAS
- INSTALL (1) NEW PURCELL EQUIPMENT CABINET ON NEW CONCRETE PAD
- INSTALL NEW HYBRIFLEX FIBER DIST CABINET
- INSTALL NEW PPC PANEL 'A' AND FIBER / TELCO CABINETS MOUNTED ON NEW H-FRAME

APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2016 CALIF. ADMINISTRATIVE CODE (INCL. TITLES 24 & 25)
- 2016 CALIFORNIA BUILDING CODES
- 2016 CALIFORNIA ELECTRICAL CODES
- 2016 CALIFORNIA MECHANICAL CODES
- 2016 CALIFORNIA PLUMBING CODES
- 2016 CALIFORNIA FIRE CODES
- 2016 CALIFORNIA ENERGY CODES
- TIA-222-G STANDARD
- LOCAL BUILDING CODES
- CITY/COUNTY ORDINANCES

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
F-1	BATTERY SPECS, FIRE DEPT. NOTES
SP-1	SPRINT SPECIFICATIONS
SP-2	SPRINT SPECIFICATIONS
A-1	SITE PLAN AND ROOF PLAN
A-2	EQUIPMENT, ANTENNA LAYOUTS AND ANTENNA SCHEDULE
A-3	NORTH ELEVATIONS
A-3.1	WEST ELEVATIONS
D-1	EQUIPMENT DETAILS
D-2	EQUIPMENT DETAILS
D-3	VALMONT SPEC SHEET
D-4	RF DATA SHEET
EN-1	ELECTRICAL NOTES AND SPECIFICATIONS
E-1	ELECTRICAL SITE PLAN
E-2	GROUNDING PLAN AND DETAILS
E-3	ELECTRICAL PLAN AND SINGLE LINE DIAGRAM
E-4	ELECTRICAL DETAILS




NSB 190FT RED




NSB 190FT RED
Nominal Technical Specifications

Parameter	Value
Weight	100 lbs
Height	19.0 in
Width	14.0 in
Depth	14.0 in
Terminal	Terminal M-100
Terminal Spacing	80 mm (3.15 in)
Terminal Voltage	12.8 V (NOM)
Terminal Capacity	100 Ah (20 hr)
Terminal Resistance	100 mΩ (MAX)
Terminal Voltage Drop	100 mV (MAX)
Terminal Voltage Regulation	100 mV (MAX)
Terminal Voltage	100 mV (MAX)

BATTERY INFORMATION / NOTES:

BATTERY MFG.	NORTHSTAR	A. QUANTITIES LESS THAN 50 CAL ARE EXEMPT FROM 2016 C.F.C. AND SHALL NOT REQUIRE PERMIT
MODEL No.	NSB190FTRED	B. ANY CHANGES OR ADDITIONS TO BACK-UP BATTERIES MUST COMPLY WITH 2016
ELECTROLYTE CONTENT PER BATTERY	2.34 GALLONS	
ELECTROLYTE HAZARD CLASSIFICATION PER 2007 W.F.C. (17% SULFURIC ACID)	CORROSIVE	
No. OF BATTERIES TO BE INSTALLED:	4 PER CABINET	
TOTAL ELECTROLYTE CONTAINED ON SITE (2.34 x 4 = 9.36)	9.36 GALLONS MAX.	
TOTAL ACID CONTAINED ON SITE (88 x 4 = 264)	264 GALLONS MAX.	

NOTE: ALL FIRE DEPT BATTERIES AND INSTALLATION SHALL COMPLY WITH 2016 CFC

FIRE DEPARTMENT NOTES:

- A. FIRE DEPARTMENT FINAL INSPECTION REQUIRED. SCHEDULE INSPECTION 2 DAYS IN ADVANCE.
- B. A CFC PERMIT TO OPERATE BATTERY SYSTEMS WITH STATIONARY LEAD-ACID BATTERIES IS NOT REQUIRED FOR THE QUANTITIES ON SITE.
- C. A CFC PERMIT MAY BE REQUIRED FOR THE HAZARDOUS MATERIALS ON SITE.
- D. A HAZARDOUS MATERIALS IDENTIFICATION SIGN IS REQUIRED FOR ALL ENTRANCES INTO BATTERY STORAGE AREAS. LETTERS MUST BE AT LEAST 1" IN HEIGHT AND IN A COLOR WHICH CONTRASTS TO THE BACKGROUND OF THE SIGN AND LIST THE FOLLOWING:

CLASS 1 WATER REACTIVE LIQUID
 TOXIC LIQUID
 CORROSIVE LIQUID
 OTHER HEALTH HAZARDOUS LIQUID
- E. BATTERIES SHALL BE PROVIDED WITH SAFETY VENTING CAPS.
- F. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE UNIFORM FIRE CODE STANDARD 10-1 AND PLACEMENT IS SUBJECT TO APPROVAL OF THE FIRE INSPECTOR.
- G. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS.
- H. EXIST DOORS SHALL BE ABLE TO OPEN FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- I. ADDRESS NUMBERS SHALL BE A MINIMUM 8 INCHES HIGH AND PLAINLY VISIBLE FROM ROADWAY BUILDING IS ADDRESSED ON.

Industrial Lead Acid Battery Safety Data Sheet

1. IDENTIFICATION REVISION DATE: 01-31-18

Product Name: Lead Acid Battery, Non-Spillable Wet
 Product Use: Electric Storage Battery
 Manufacturer/Supplier: NorthStar Battery, Co., LLC
 Address: 4000 E. Commercial Way, Springfield, MA 01103
 General Information Number: 417-575-8200
 CAS Number: Not Applicable
 CHEMTRAC: 800-424-9304

2. GHS HAZARDS IDENTIFICATION

Health	Environmental	Physical
Acute Toxicity (Oral Dermal Inhalation) - Category 4 Skin Corrosion/Irritation - Category 1A Eye Damage - Category 1 Reproductive - Category 1A Carcinogenicity (lead) - Category 1B Carcinogenicity (arsenic) - Category 1A Carcinogenicity (acid mist) - Category 1A Specific Target Organ Toxicity (repeated exposure) - Category 2	Aquatic Chronic - 1 Aquatic Acute - 1	Explosive Chemical, Division 1.3

GHS Label:

Health	Environmental	Physical

Hazard Statements:
 DANGER!
 Causes severe skin burns and eye damage.
 Causes serious eye damage.
 May damage fertility or the unborn child if ingested or inhaled.
 May cause cancer if ingested or inhaled.
 Causes damage to central nervous system, blood and kidneys through prolonged or repeated exposure.
 May form explosive air gas mixture during charging.
 Extremely flammable gas (hydrogen).
 Explosive, fire, blast or projection hazard.

Precautionary Statements:
 Wash thoroughly after handling.
 Do not eat, drink or smoke when using this product.
 Wear protective gloves, protective clothing, eye protection, face protection.
 Avoid breathing dust/fume/gas/mist/vapors/spray. Use only outdoors or in a well-ventilated area.
 Causes skin irritation, serious eye damage.
 Contact with internal components may cause irritation or severe burns. Avoid contact with internal acid.
 Irritating to eyes, respiratory system, and skin.

NOTICE



Stay back!
 Radio-frequency energy
 May exceed exposure limits
 If questions, contact facility owner



PLANS PREPARED FOR:

Sprint
 6591 Irvine Center Drive, Suite 100
 Irvine, California 92618

PLANS PREPARED BY:

INFINIGY8
 FROM ZERO TO INFINIGY
 the solutions are endless
 26455 RANCHO PARKWAY SOUTH
 LAKE FOREST, CALIFORNIA 92630
 JOB #640-003

EQUIPMENT MANUFACTURER:


Alcatel-Lucent

CONSULTANT:

SBA

SBA COMMUNICATIONS CORP.
 510 GOETZ AVE.
 SANTA ANA, CA 92707

ENGINEERING LICENSE:


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90%	CD's	08/24/18	CM	0
100%	CD's	09/24/18	CM	1
100%	CD's	10/11/18	PC	2

SITE NAME:

OLANCHA

SITE CASCADE:

**SB68XCDQA
 CA20549A**

SITE ADDRESS:

20 GILL STATION COSO RD.,
 OLANCHA, CA 93549

SHEET DESCRIPTION:

**BATTERY SPECS,
 FIRE DEPT. NOTES**

SHEET NUMBER:

F-1

THESE OUTLINE SPECIFICATIONS IN CONJUNCTION WITH THE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING CONTRACT DOCUMENTS AND THE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE PERFORMED BY THE CONTRACTOR.

CONTRACTOR SUPPLIED:

SUPPLIER WILL SUPPLY ALL MINOR MATERIALS NECESSARY FOR PERFORMANCE OF SERVICES MINOR MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ("MINOR MATERIALS"):

- A. CONDUIT IN LENGTHS LESS THAN OR EQUAL TO 5 FEET;
- B. WIRE;
- C. BREAKERS;
- D. GROUNDING CABLE;
- E. ANTENNA AND LINE INSTALLATION HARDWARE;
- F. CONDUIT CLAMPS;
- G. CONDUIT CONNECTORS;
- H. WEATHERPROOFING MATERIALS;
- I. GROUNDING KITS;
- J. HOISTING GRIPS;
- K. SNAP-IN HANGERS WITH GROMMETS;
- L. BUTTERFLY HANGER KITS;
- M. COAX BLOCKS AND HARDWARE;
- N. ANGLE ADAPTERS, U BOLTS, AND OTHER MISCELLANEOUS HARDWARE;
- O. CROSSOVER PLATES;
- P. RET CABLES
- Q. PIPE MOUNTS, PIPE TO PIPE MOUNTS;
- R. ICE BRIDGES IN LENGTHS LESS THAN OR EQUAL TO 5 FEET;
- S. LIQUID TIGHT;
- T. COMMON CONSUMABLES, INCLUDING BUT NOT LIMITED TO TAPES, SOLVENTS, ADHESIVES, LUGS, NUTS, BOLTS, WASHERS, ETC.; AND
- U. SUCH OTHER MINOR MATERIALS NOT SPECIFICALLY MENTIONED IN THIS SECTION BUT WHICH ARE REASONABLE NECESSARY TO COMPLETE THE SERVICES.

SPRINT SUPPLIED:

- A. BASE BAND UNITS;
- B. BATTERY CABINETS;
- C. MMBS UNIT CABINETS;
- D. RRH;
- E. RETS;
- F. ANTENNAS AND BRACKETS;
- G. HFCS;
- H. BATTERIES;
- I. JUMPERS; AND
- J. ANY OEM SPECIFIC EQUIPMENT (CARD, SHELF, OR CABINET) THAT NEEDS TO BE INSTALLED IN OR NEXT TO MMBS UNIT.

SECTION 01 100 - SCOPE OF WORK

THE WORK SHALL COMPLY WITH APPLICABLE NATIONAL CODES AND STANDARDS, LATEST EDITION, AND PORTIONS THEREOF.

PRECEDENCE:

SHOULD CONFLICTS OCCUR BETWEEN THE STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES INCLUDING THE STANDARD CONSTRUCTION DETAILS FOR WIRELESS SITES AND THE CONSTRUCTION DRAWINGS, INFORMATION ON THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE.

SITE FAMILIARITY:

CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

ON-SITE SUPERVISION:

THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS

DRAWINGS, SPECIFICATIONS AND DETAILS REQUIRED AT JOBSITE:

THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A FULL SET OF THE CONSTRUCTION DRAWINGS AT THE JOBSITE FROM MOBILIZATION THROUGH CONSTRUCTION COMPLETION.

- A. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. PROVIDE ALL MATERIALS AND LABOR AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- B. CONTRACTOR SHALL NOTIFY SPRINT CONSTRUCTION MANAGER OF ANY VARIATIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- C. MARK THE FIELD SET OF DRAWINGS IN RED, DOCUMENTING ANY CHANGES FROM THE CONSTRUCTION DOCUMENTS.

METHODS OF PROCEDURE (MOPS) FOR CONSTRUCTION:

CONTRACTOR SHALL PERFORM WORK AS DESCRIBED IN THE FOLLOWING INSTALLATION AND COMMISSIONING MOPS.

- A. TOP HAT
- B. HOW TO INSTALL A NEW CABINET
- C. BASE BAND UNIT IN EXISTING UNIT
- D. INSTALLATION OF BATTERIES
- E. INSTALLATION OF HYBRID CABLE
- F. INSTALLATION OF RRH
- G. CABLING
- H. TS-0200 REV 4 - ANTENNA LINE ACCEPTANCE STANDARDS
- I. SPRINT CELL SITE ENGINEERING NOTICE - EN 2012-001, REV 1.
- J. COMMISSIONING MOPS

SECTION 01 200 - COMPANY FURNISHED MATERIAL AND EQUIPMENT

COMPANY FURNISHED MATERIAL AND EQUIPMENT IS IDENTIFIED ON THE RF DATA SHEET IN THE CONSTRUCTION DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR SPRINT PROVIDED MATERIAL AND EQUIPMENT TO ENSURE IT IS PROTECTED AND HANDLED PROPERLY THROUGHOUT THE CONSTRUCTION DURATION.

CONTRACTOR RESPONSIBLE FOR RECEIPT OF SPRINT FURNISHED EQUIPMENT AT CELL SITE OR CONTRACTORS LOCATION. CONTRACTOR TO COMPLETE SHIPPING AND RECEIPT DOCUMENTATION IN ACCORDANCE WITH COMPANY PRACTICE.

SECTION 01 300 - CELL SITE CONSTRUCTION

NOTICE TO PROCEED:

NO WORK SHALL COMMENCE PRIOR TO COMPANY'S WRITTEN NOTICE TO PROCEED AND THE ISSUANCE OF WORK ORDER.

SITE CLEANLINESS:

CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. CONTRACTOR SHALL REMOVE FROM THE SITE ALL REMAINING RUBBISH, IMPLEMENTS, TEMPORARY FACILITIES, AND SURPLUS MATERIALS.

SECTION 01 400 - SUBMITTALS & TESTS

ALTERNATES:

AT THE COMPANY'S REQUEST, ANY ALTERNATIVES TO THE MATERIALS OR METHODS SPECIFIED SHALL BE SUBMITTED TO SPRINTS CONSTRUCTION MANAGER FOR APPROVAL. SPRINT WILL REVIEW AND APPROVE ONLY THOSE REQUESTS MADE IN WRITING. NO VERBAL APPROVALS WILL BE CONSIDERED.

TESTS AND INSPECTIONS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTS, INSPECTIONS AND PROJECT DOCUMENTATION.

B. CONTRACTOR SHALL ACCOMPLISH TESTING INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 1. COAX SWEEPS AND FIBER TESTS PER TS-0200 REV 4 ANTENNA LINE ACCEPTANCE STANDARDS
- 2. AZM, AZMUTH AND DOWNTILT PROVIDE AN AUTOMATED REPORT UPLOADED TO SITERRA USING A COMMERCIAL MADE-FOR THE PURPOSE ELECTRONIC ANTENNA ALIGNMENT TOOL (AAT). INSTALLED AZIMUTH, CENTERLINE AND DOWNTILT MUST CONFORM WITH RF CONFIGURATION DATA
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIONS TO ANY WORK IDENTIFIED AS UNACCEPTABLE IN SITE INSPECTION ACTIVITIES AND/OR AS A RESULT OF TESTING.
- 4. ALL TESTING REQUIRED BY APPLICABLE INSTALLATION MOPS.

C. REQUIRED CLOSEOUT DOCUMENTATION INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- 1. AZIMUTH, DOWNTILT, AZM FROM SUNSIGHT INSTRUMENTS - ANTENNA ALIGNMENT TOOL (AAT)
 - 2. SWEEP AND FIBER TESTS
 - 3. SCANABLE BARCODE PHOTOGRAPHS OF TOWER TOP AND INACCESSIBLE SERIALIZED EQUIPMENT
 - 4. ALL AVAILABLE JURISDICTIONAL INFORMATION
 - 5. PDF SCAN OF REDLINES PRODUCED IN FIELD
 - 6. A PDF SCAN OF REDLINE MARK-UPS SUITABLE FOR USE IN ELECTRONIC AS-BUILT DRAWING PRODUCTION
 - 7. LIEN WAIVERS
 - 8. FINAL PAYMENT APPLICATION
 - 9. REQUIRED FINAL CONSTRUCTION PHOTOS
 - 10. CONSTRUCTION AND COMMISSIONING CHECKLIST COMPLETE WITH NO DEFICIENT ITEMS
 - 11. ALL POST NTP TASKS INCLUDING DOCUMENT UPLOADS COMPLETED IN SITERRA (SPRINTS DOCUMENT REPOSITORY OF RECORD)
 - 12. CLOSEOUT PHOTOGRAPHS
- D. PROVIDE PHOTOGRAPHS OF FINAL PROJECT PER THE FOLLOWING LIST. ADDITIONAL PHOTOGRAPHS MAY BE REQUIRED TO SUPPORT ACCEPTANCE PROCESSES
- (i) MAIN HYBRID CABLE ROUTE (MINIMUM TWO PHOTOS)
 - (ii) PHOTOS OF EACH ANTENNA AND RRH
 - (iii) MANUFACTURERS NAME TAG FOR ALL SERIALIZED EQUIPMENT
 - (iv) PULL AND DISTRIBUTION BOXES INTERMEDIATE BETWEEN RRH AND MMBS (DOOR OPEN)
 - (v) MMBS CABINET WITH DOOR OPEN SHOWING MODIFICATIONS
 - (vi) POWER CABINET, DOORS OPEN, BATTERIES INSTALLED
 - (vii) BREAK OUT CYLINDERS
 - (viii) ASR SIGNAGE FOR SPRINT OWNED TOWERS
 - (ix) RADIATION EXPOSURE WARNING SIGNS
 - (x) PHOTOGRAPH FROM EACH SECTOR FROM APPROXIMATELY RAD CENTER OF ANY NEW ANTENNA AT HOR-ZON.

COMMISSIONING:

PERFORM ALL COMMISSIONING AS REQUIRED BY APPLICABLE MOPS

INTEGRATION:

PERFORM ALL INTEGRATION ACTIVITIES AS REQUIRED BY APPLICABLE MOPS

SECTION 07 500 - ROOF CUTTING, PATCHING AND REPAIR

SUMMARY:

THIS SECTION SPECIFIES CUTTING AND PATCHING EXISTING ROOFING SYSTEMS WHERE CONDUIT OR CABLES EXIT THE BUILDING ONTO THE ROOF OR BUILDING-MOUNTED ANTENNAS, AND AS REQUIRED FOR WATERTIGHT PERFORMANCE. ROOFTOP ENTRY OPENINGS IN MEMBRANE ROOFTOPS SHALL BE CONSTRUCTED TO COMPLY WITH LANDLORD, ANY EXISTING WARRANTY, AND LOCAL JURISDICTIONAL STANDARDS.

1.4 SUBMITTALS:

A. **PRE-CONSTRUCTION ROOF PHOTOS:** COMPLETE A ROOF INSPECTION PRIOR TO THE INSTALLATION OF SPRINT EQUIPMENT ON ANY ROOFTOP BUILD. AT A MINIMUM INSPECT AND PHOTOGRAPH (MINIMUM 3 EA.) ALL AREAS IMPACTED BY THE ADDITION OF THE SPRINT EQUIPMENT.

B. PROVIDE SIMILAR PHOTOGRAPHS SHOWING ROOF CONDITIONS AFTER CONSTRUCTION (MINIMUM 3 EA.)

C. ROOF INSPECTION PHOTOGRAPHS SHOULD BE UPLOADED WITH CLOSEOUT PHOTOGRAPHS.

SECTION 09 900 - PAINTING

QUALITY ASSURANCE:

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

B. COMPLY WITH ALL ENVIRONMENTAL REGULATIONS FOR VOLATILE ORGANIC COMPOUNDS

MATERIALS:

A. MANUFACTURERS: BENJAMIN MOORE, ICI DEVCO COATINGS, PPG, SHERWIN WILLIAMS OR APPROVED EQUAL PROVIDE PREMIUM GRADE, PROFESSIONAL-QUALITY PRODUCTS FOR COATING SYSTEMS

PAINT SCHEDULE:

A. EXTERIOR ANTENNAE AND ANTENNA MOUNTING HARDWARE: ONE COAT OF PRIMER AND TWO FINISH COATS. PAINT FOR ANTENNAE SHALL BE NON-METALLIC BASED AND CONTAIN NO METALLIC PARTICLES. PROVIDE COLORS AND PATTERNS AS REQUIRED TO MASK APPEARANCE OF ANTENNAE ON ADJACENT BUILDING SURFACES AND AS ACCEPTABLE TO THE OWNER. REFER TO ANTENNA MANUFACTURER'S INSTRUCTIONS WHENEVER POSSIBLE.

B. **ROOF TOP CONSTRUCTION:** TOUCH UP - PREPARE SURFACES TO BE REPAIRED FOLLOW INDUSTRY STANDARDS AND REQUIREMENTS OF OWNER TO MATCH EXISTING COATING AND FINISH.

PAINTING APPLICATION:

- 1. INSPECT SURFACES, REPORT UNSATISFACTORY CONDITIONS IN WRITING; BEGINNING WORK MEANS ACCEPTANCE OF SUBSTRATE.
- 2. COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR PREPARATION, PRIMING AND COATING WORK. COORDINATE WITH WORK OF OTHER SECTIONS
- 3. MATCH APPROVED MOCK-UPS FOR COLOR, TEXTURE, AND PATTERN. RE-COAT OR REMOVE AND REPLACE WORK WHICH DOES NOT MATCH OR SHOWS LOSS OF ADHESION.
- 4. CLEAN UP, TOUCH UP AND PROTECT WORK.

TOUCHUP PAINTING:

- 1. GALVANIZING DAMAGE AND ALL BOLTS AND NUTS SHALL BE TOUCHED UP AFTER TOWER ERECTION WITH "GALVANOX," "DRY GALV," OR "ZINC-IT."
- 2. FIELD TOUCHUP PAINT SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 3. ALL METAL COMPONENTS SHALL BE HANDLED WITH CARE TO PREVENT DAMAGE TO THE COMPONENTS, THEIR PRESERVATIVE TREATMENT, OR THEIR PROTECTIVE COATINGS.

SECTION 11 700 - ANTENNA ASSEMBLY, REMOTE RADIO UNITS AND CABLE INSTALLATION

SUMMARY:

THIS SECTION SPECIFIES INSTALLATION OF ANTENNAS, RRH, AND CABLE EQUIPMENT, INSTALLATION, AND TESTING OF COAXIAL FIBER CABLE.

ANTENNAS AND RRH:

THE NUMBER AND TYPE OF ANTENNAS AND RRH TO BE INSTALLED IS DETAILED ON THE CONSTRUCTION DRAWINGS.

HYBRID CABLE:

HYBRID CABLE WILL BE DC/FIBER AND FURNISHED FOR INSTALLATION AT EACH SITE. CABLE SHALL BE INSTALLED PER THE CONSTRUCTION DRAWINGS AND THE APPLICABLE MANUFACTURER'S REQUIREMENTS.

JUMPERS AND CONNECTORS:

FURNISH AND INSTALL 1/2" COAX JUMPER CABLES BETWEEN THE RRH AND ANTENNAS. JUMPERS SHALL BE TYPE LDF 4, FLC 12-50, CR 540, OR FXL 540. SUPER-FLEX CABLES ARE NOT ACCEPTABLE. JUMPERS BETWEEN THE RRH AND ANTENNAS OR TOWER TOP AMPLIFIERS SHALL CONSIST OF 1/2 INCH FOAM DIELECTRIC, OUTDOOR RATED COAXIAL CABLE DO NOT USE SUPERFLEX OUTDOORS. JUMPERS SHALL BE FACTORY FABRICATED IN APPROPRIATE LENGTHS WITH A MAXIMUM OF 4 FEET EXCESS PER JUMPER AND HAVE CONNECTORS AT EACH END, MANUFACTURED BY SUPPLIER. IF JUMPERS ARE FIELD FABRICATED, FOLLOW MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF CONNECTORS

REMOTE ELECTRICAL TILT (RET) CABLES:

MISCELLANEOUS:

INSTALL SPLITTERS, COMBINERS, FILTERS PER RF DATA SHEET, FURNISHED BY SPRINT

ANTENNA INSTALLATION:

THE CONTRACTOR SHALL ASSEMBLE ALL ANTENNAS ONSITE IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. ANTENNA HEIGHT, AZIMUTH, AND FEED ORIENTATION INFORMATION SHALL BE A DESIGNATED ON THE CONSTRUCTION DRAWINGS.

CONTINUE SHEET SP-2

PLANS PREPARED FOR:



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Irvine, California 92618

PLANS PREPARED BY:



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26455 RANCHO PARKWAY SOUTH
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EQUIPMENT MANUFACTURER:



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100%	CD's	10/11/18	JPC	2

SITE NAME:

OLANCHA

SITE CASCADE:

SB68XCDQA
CA20549A

SITE ADDRESS:

20 GILL STATION COSO RD.,
OLANCHA, CA 93549

SHEET DESCRIPTION:

SPRINT SPECIFICATIONS

SHEET NUMBER:

SP-1

- A. THE CONTRACTOR SHALL POSITION THE ANTENNA ON TOWER PIPE MOUNTS SO THAT THE BOTTOM STRUT IS LEVEL. THE PIPE MOUNTS SHALL BE PLUMB TO WITHIN 1 DEGREE.
- B. ANTENNA MOUNTING REQUIREMENTS: PROVIDE ANTENNA MOUNTING HARDWARE AS INDICATED ON THE DRAWINGS.

HYBRID CABLES INSTALLATION:

- A. THE CONTRACTOR SHALL ROUTE, TEST, AND INSTALL ALL CABLES AS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- B. THE INSTALLED RADIUS OF THE CABLES SHALL NOT BE LESS THAN THE MANUFACTURER'S SPECIFICATIONS FOR BENDING RADI.
- C. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE CABLES DURING HANDLING AND INSTALLATION.
- FASTENING MAIN HYBRID CABLES: ALL CABLES SHALL BE PERMANENTLY FASTENED TO THE COAX LADDER AT 4'-0" OC USING NON-MAGNETIC STAINLESS STEEL CLIPS
 - FASTENING INDIVIDUAL FIBER AND DC CABLES ABOVE BREAKOUT ENCLOSURE (MEDUSA), WITHIN THE MMBS CABINET AND ANY INTERMEDIATE DISTRIBUTION BOXES
 - FIBER SUPPORT FIBER BUNDLES USING 1/2" VELCRO STRAPS OF THE REQUIRED LENGTH @ 18" OC STRAPS SHALL BE UV, OIL AND WATER RESISTANT AND SUITABLE FOR INDUSTRIAL INSTALLATIONS AS MANUFACTURED BY TEXTOL OR APPROVED EQUAL.
 - DC SUPPORT DC BUNDLES WITH ZIP TIES OF THE ADEQUATE LENGTH. ZIP TIES TO BE UV STABILIZED, BLACK NYLON, WITH TENSILE STRENGTH AT 12,000 PSI AS MANUFACTURED BY NELCO PRODUCTS OR EQUAL.
 - FASTENING JUMPERS: SECURE JUMPERS TO THE SIDE ARMS OR HEAD FRAMES USING STAINLESS STEEL TIE WRAPS OR STAINLESS STEEL BUTTERFLY CLIPS
 - CABLE INSTALLATION:
 - INSPECT CABLE PRIOR TO USE FOR SHIPPING DAMAGE. NOTIFY THE CONSTRUCTION MANAGER
 - CABLE ROUTING: CABLE INSTALLATION SHALL BE PLANNED TO ENSURE THAT THE LINES WILL BE PROPERLY ROUTED IN THE CABLE ENVELOP AS INDICATED ON THE DRAWINGS. AVOID TWISTING AND CROSSEOVERS.
 - HOIST CABLE USING PROPER HOISTING GRIPS. DO NOT EXCEED MANUFACTURERS RECOMMENDED MAXIMUM BEND RADIUS.
 - GROUNDING OF TRANSMISSION LINES: ALL TRANSMISSION LINES SHALL BE GROUNDED AS INDICATED ON DRAWINGS.
 - HYBRID CABLE COLOR CODING: ALL COLOR CODING SHALL BE AS REQUIRED IN TS 0200 REV 4.
 - HYBRID CABLE LABELING: INDIVIDUAL HYBRID AND DC BUNDLES SHALL BE LABELED ALPHA-NUMERICALLY ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE - EN 2012-001, REV 1

WEATHERPROOFING EXTERIOR CONNECTORS AND HYBRID CABLE GROUND KITS:

- A. ALL FIBER & COAX CONNECTORS AND GROUND KITS SHALL BE WEATHERPROOFED.
- B. WEATHERPROOFED USING ONE OF THE FOLLOWING METHODS. ALL INSTALLATIONS MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY BEST PRACTICES
- COLD SHRINK: ENCOMPASS CONNECTOR IN COLD SHRINK TUBING AND PROVIDE A DOUBLE WRAP OF 2" ELECTRICAL TAPE EXTENDING 2" BEYOND TUBING. PROVIDE 3M COLD SHRINK CXS SERIES OR EQUAL.
 - SELF-AMALGAMATING TAPE: CLEAN SURFACES. APPLY A DOUBLE WRAP OF SELF-AMALGAMATING TAPE 2" BEYOND CONNECTOR. APPLY A SECOND WRAP OF SELF-AMALGAMATING TAPE IN OPPOSITE DIRECTION. APPLY DOUBLE WRAP OF 2" WIDE ELECTRICAL TAPE EXTENDING 2" BEYOND THE SELF-AMALGAMATING TAPE.
 - 3M SLIM LOCK CLOSURE 716: SUBSTITUTIONS WILL NOT BE ALLOWED
 - OPEN FLAME ON JOB SITE IS NOT ACCEPTABLE

SECTION 11 800 - INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

- A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BY NOT LIMITED TO RECTIFIERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE COMPANY FOR INSTALLATION BY THE CONTRACTOR (OFCI).
- B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRE BY THE APPLICABLE INSTALLATION MOPS.
- C. COMPLY WITH MANUFACTURERS INSTALLATION AND START-UP REQUIREMENTS

DC CIRCUIT BREAKER LABELING

- A. LABEL CIRCUIT BREAKERS ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE - EN 2012-001, REV 1.

SECTION 11 800 - INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

- A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BY NOT LIMITED TO RECTIFIERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE COMPANY FOR INSTALLATION BY THE CONTRACTOR (OFCI).
- B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRE BY THE APPLICABLE INSTALLATION MOPS.
- C. COMPLY WITH MANUFACTURERS INSTALLATION AND START-UP REQUIREMENTS

SUPPORTING DEVICES:

- A. MANUFACTURED STRUCTURAL SUPPORT MATERIALS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:
- ALLIED TUBE AND CONDUIT
 - B-LINE SYSTEM
 - SUNISTRUT DIVERSIFIED PRODUCTS
 - THOMAS & BETTS
- B. FASTENERS: TYPES, MATERIALS, AND CONSTRUCTION FEATURES AS FOLLOWS:
- EXPANSION ANCHORS: CARBON STEEL WEDGE OR SLEEVE TYPE.
 - POWER-DRIVEN THREADED STUDS: HEAT-TREATED STEEL, DESIGNED SPECIFICALLY FOR THE INTENDED SERVICE.
 - FASTEN BY MEANS OF WOOD SCREWS ON WOOD.
 - TOGGLE BOLTS ON HOLLOW MASONRY UNITS
 - CONCRETE INSERTS OR EXPANSION BOLTS ON CONCRETE OR SOLID MASONRY.
 - MACHINE SCREWS, WELDED THREADED STUDS, OR SPRING-TENSION CLAMPS ON STEEL.
 - EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE SHALL NOT BE PERMITTED.
 - DO NOT WELD CONDUIT, PIPE STRAPS, OR ITEMS OTHER THAN THREADED STUDS TO STEEL STRUCTURES
 - IN PARTITIONS OF LIGHT STEEL CONSTRUCTION, USE SHEET METAL SCREWS.

SUPPORTING DEVICES:

- A. INSTALL SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH NEC.
- B. COORDINATE WITH THE BUILDING STRUCTURAL SYSTEM AND WITH OTHER TRADES.
- C. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE SECURELY TO THE STRUCTURE IN ACCORDANCE WITH THE FOLLOWING:
- D. ENSURE THAT THE LOAD APPLIED BY ANY FASTENER DOES NOT EXCEED 25 PERCENT OF THE PROOF TEST LOAD.
- E. USE VIBRATION AND SHOCK-RESISTANT FASTENERS FOR ATTACHMENTS TO CONCRETE SLABS.

ELECTRICAL IDENTIFICATION:

- A. UPDATE AND PROVIDE TYPED CIRCUIT BREAKER SCHEDULES IN THE MOUNTING BRACKET, INSIDE DOORS OF AC PANEL BOARDS WITH ANY CHANGES MADE TO THE AC SYSTEM.
- B. BRANCH CIRCUITS FEEDING AVIATION OBSTRUCTION LIGHTING EQUIPMENT SHALL BE CLEARLY IDENTIFIED AS SUCH AT THE BRANCH CIRCUIT PANELBOARD.

SECTION 26 200 - ELECTRICAL MATERIALS AND EQUIPMENT

CONDUIT:

- A. RIGID GALVANIZED STEEL (RGS) CONDUIT SHALL BE USED FOR EXTERIOR LOCATIONS ABOVE GROUND AND IN UNFINISHED INTERIOR LOCATIONS AND FOR ENCASED RUNS IN CONCRETE. RIGID CONDUIT AND FITTINGS SHALL BE STEEL, COATED WITH ZINC EXTERIOR AND INTERIOR BY THE HOT DIP GALVANIZING PROCESS. CONDUIT SHALL BE PRODUCED TO ANSI SPECIFICATIONS C80.1, FEDERAL SPECIFICATION WW-C-581 AND SHALL BE LISTED WITH THE UNDERWRITERS' LABORATORIES. FITTINGS SHALL BE THREADED - SET SCREW OR COMPRESSION FITTINGS WILL NOT BE ACCEPTABLE. RGS CONDUITS SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND.
- B. UNDERGROUND CONDUIT IN CONCRETE SHALL BE POLYVINYLCHLORIDE (PVC) SUITABLE FOR DIRECT BURIAL AS APPLICABLE. JOINTS SHALL BE BELLED, AND FLUSH SOLVENT WELDED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL BE CARLON ELECTRICAL PRODUCTS OR APPROVED EQUAL.
- C. TRANSITIONS BETWEEN PVC AND RIGID (RGS) SHALL BE MADE WITH PVC COATED METALLIC LONG SWEEP RADIUS ELBOWS.

- D. EMT OR RIGID GALVANIZED STEEL CONDUIT MAY BE USED IN FINISHED SPACES CONCEALED IN WALLS AND CEILINGS. EMT SHALL BE MILD STEEL, ELECTRICALLY WELDED, ELECTRO-GALVANIZED OR HOT-DIPPED GALVANIZED AND PRODUCED TO ANSI SPECIFICATION C80.3, FEDERAL SPECIFICATION WW-C-563, AND SHALL BE UL LISTED. EMT SHALL BE MANUFACTURED BY ALLIED, REPUBLIC OR WHEATLAND, OR APPROVED EQUAL. FITTINGS SHALL BE METALLIC COMPRESSION. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE.
- E. LIQUID TIGHT FLEXIBLE METALLIC CONDUIT SHALL BE USED FOR FINAL CONNECTION TO EQUIPMENT. FITTINGS SHALL BE METALLIC GLAND TYPE COMPRESSION FITTINGS, MAINTAINING THE INTEGRITY OF CONDUIT SYSTEM. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE. MAXIMUM LENGTH OF FLEXIBLE CONDUIT SHALL NOT EXCEED 6- FEET. LFMC SHALL BE PROTECTED AND SUPPORTED AS REQUIRE BY NEC. MANUFACTURERS OF FLEXIBLE CONDUITS SHALL BE CAROL, ANACONDA METAL HOSE OR UNIVERSAL METAL HOSE, OR APPROVED EQUAL.
- F. MINIMUM SIZE CONDUIT SHALL BE 3/4 INCH (21MM).

HUBS AND BOXES:

- A. AT ENTRANCES TO CABINETS OR OTHER EQUIPMENT NOT HAVING INTEGRAL THREADED HUBS PROVIDE METALLIC THREADED HUBS OF THE SIZE AND CONFIGURATION REQUIRED. HUB SHALL INCLUDE LOCKNUT AND NEOPRENE O-RING SEAL. PROVIDE IMPACT RESISTANT 105 DEGREE C PLASTIC BUSHINGS TO PROTECT CABLE INSULATION.
- B. CABLE TERMINATION FITTINGS FOR CONDUIT
- CABLE TERMINATORS FOR RGS CONDUITS SHALL BE TYPE CRC BY O-Z/GEDNEY OR EQUAL.
 - CABLE TERMINATORS FOR LFMC SHALL BE ETCO - CL2075; OR MADE FOR THE PURPOSE PRODUCTS BY ROXTEC.
- C. EXTERIOR PULL BOXES AND PULL BOXES IN INTERIOR INDUSTRIAL AREAS SHALL BE PLATED CAST ALLOY, HEAVY DUTY, WEATHERPROOF, DUST PROOF, WITH GASKET, PLATED IRON ALLOY COVER AND STAINLESS STEEL COVER SCREWS, CROUSE-HINDS WAB SERIES OR EQUAL.
- D. CONDUIT OUTLET BODIES SHALL BE PLATED CAST ALLOY WITH SIMILAR GASKETED COVERS. OUTLET BODIES SHALL BE OF THE CONFIGURATION AND SIZE SUITABLE FOR THE APPLICATION. PROVIDE CROUSE-HINDS FORM B OR EQUAL.
- E. MANUFACTURER FOR BOXES AND COVERS SHALL BE HOFFMAN, SQUARE "D", CROUSE-HINDS, COOPER, ADALET, APPLETON, O-Z GEDNEY, RACO, OR APPROVED EQUAL.

SUPPLEMENTAL GROUNDING SYSTEM

- A. FURNISH AND INSTALL A SUPPLEMENTAL GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS. SUPPORT SYSTEM WITH NON-MAGNETIC STAINLESS STEEL CLIPS WITH RUBBER GROMMETS. GROUNDING CONNECTORS SHALL BE TINNED COPPER WIRE, SIZES AS INDICATED ON THE DRAWINGS. PROVIDE STRANDED OR SOLID BARE OR INSULATED CONDUCTORS AS INDICATED.
- B. SUPPLEMENTAL GROUNDING SYSTEM: ALL CONNECTIONS TO BE MADE WITH CAD WELDS, EXCEPT AT EQUIPMENT USE LUGS OR OTHER AVAILABLE GROUNDING MEANS AS REQUIRED BY MANUFACTURER; AT GROUND BARS USE TWO HOLE SPADES WITH NO OX.
- C. STOLEN GROUND-BARS: IN THE EVENT OF STOLEN GROUND BARS, CONTACT SPRINT CM FOR REPLACEMENT INSTRUCTION USING THREADED ROD KITS.

EXISTING STRUCTURE:

- A. EXISTING EXPOSED WIRING AND ALL EXPOSED OUTLETS, RECEPTACLES, SWITCHES, DEVICES, BOXES, AND OTHER EQUIPMENT THAT ARE NOT TO BE UTILIZED IN THE COMPLETED PROJECT SHALL BE REMOVED OR DE-ENERGIZED AND CAPPED IN THE WALL, CEILING, OR FLOOR SO THAT THEY ARE CONCEALED AND SAFE. WALL, CEILING, OR FLOOR SHALL BE PATCHED TO MATCH THE ADJACENT CONSTRUCTION.

CONDUIT AND CONDUCTOR INSTALLATION:

- A. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
- B. CONDUCTORS SHALL BE PULLED IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE.

PLANS PREPARED FOR:



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Irvine, California 92618

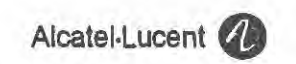
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26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92653
JOB #448-003

EQUIPMENT MANUFACTURER:



CONSULTANT:



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ENGINEERING LICENSE:



Michael J. DeStefano
Civil
State of California

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90% CD's	08/24/18	CM	0
100% CD's	09/24/18	CM	1
100% CD's	10/11/18	JPC	2

SITE NAME:

OLANCHA

SITE CASCADE:

**SB68XCDQA
CA20549A**

SITE ADDRESS:

20 GILL STATION COSO RD.,
OLANCHA, CA 93549

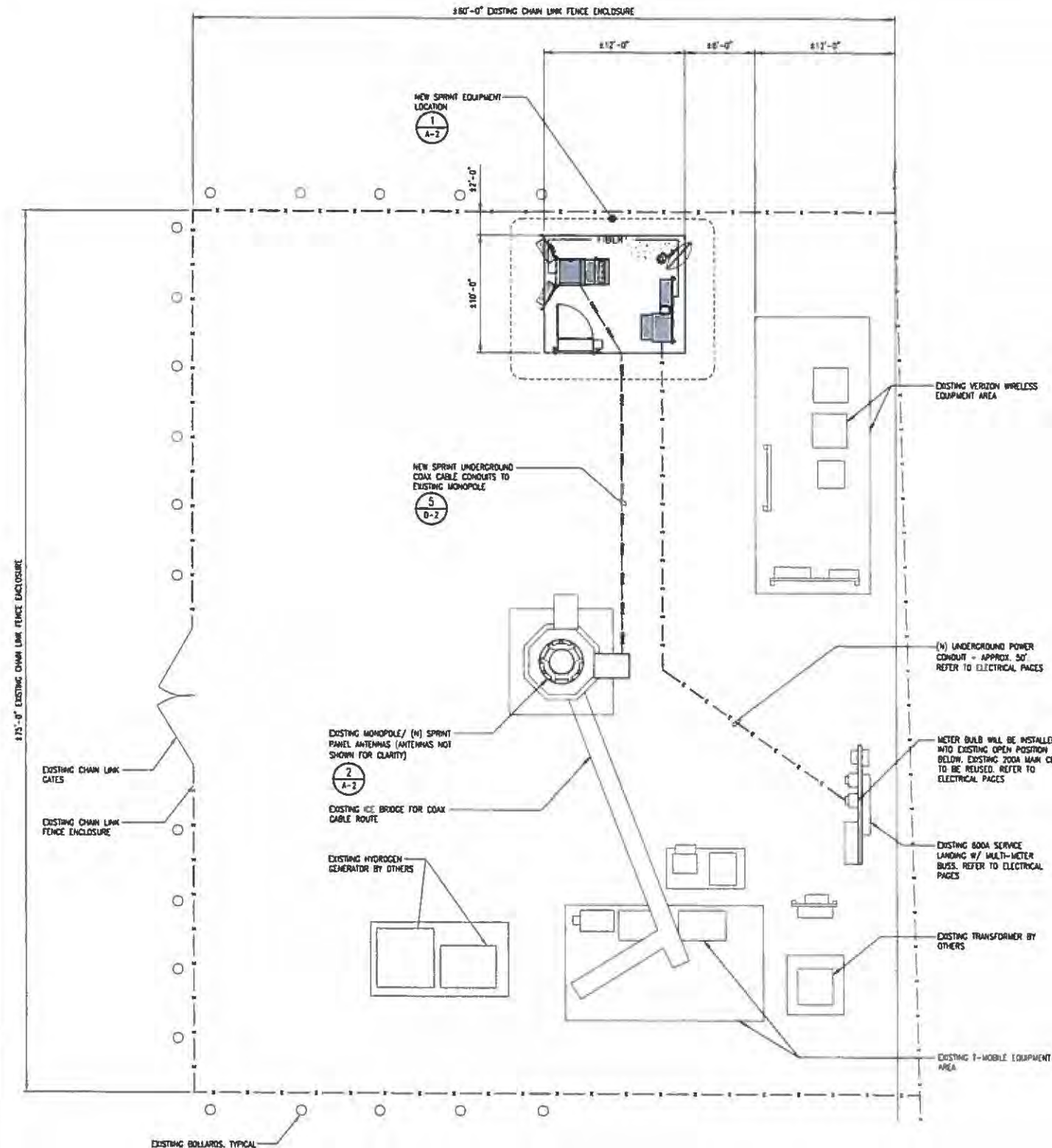
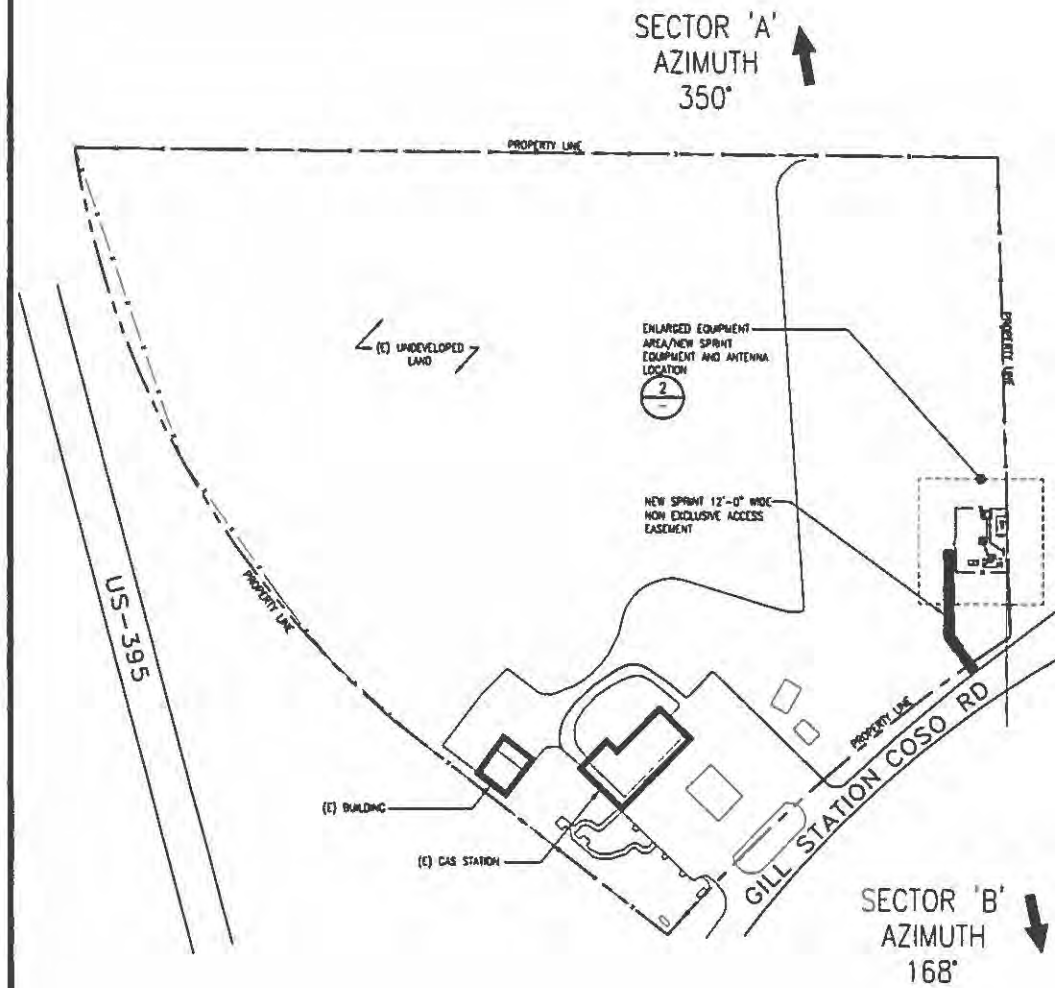
SHEET DESCRIPTION:

SPRINT SPECIFICATIONS

SHEET NUMBER:

SP-2

NOTE:
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THE BENEFIT OF A SURVEY.



PLANS PREPARED FOR:
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PLANS PREPARED BY:
INFINIGY8
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26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB #660-003

EQUIPMENT MANUFACTURER:
Alcatel-Lucent

CONSULTANT:
SBA
SBA COMMUNICATIONS CORP.
510 GOETZ AVE.
SANTA ANA, CA 92707

ENGINEERING LICENSE:

Michael Covelli

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REVISIONS:	DESCRIPTION	DATE	BY	REV
90% CD's		08/24/18	GN	0
100% CD's		09/24/18	GN	1
100% CD's		10/11/18	JPC	2

SITE NAME:
OLANCHA

SITE CASCADE:
**SB68XCDQA
CA20549A**

SITE ADDRESS:
20 GILL STATION COSO RD.,
OLANCHA, CA 93549

SHEET DESCRIPTION:
**SITE PLAN &
ENLARGED EQUIP PLAN**

SHEET NUMBER:
A-1

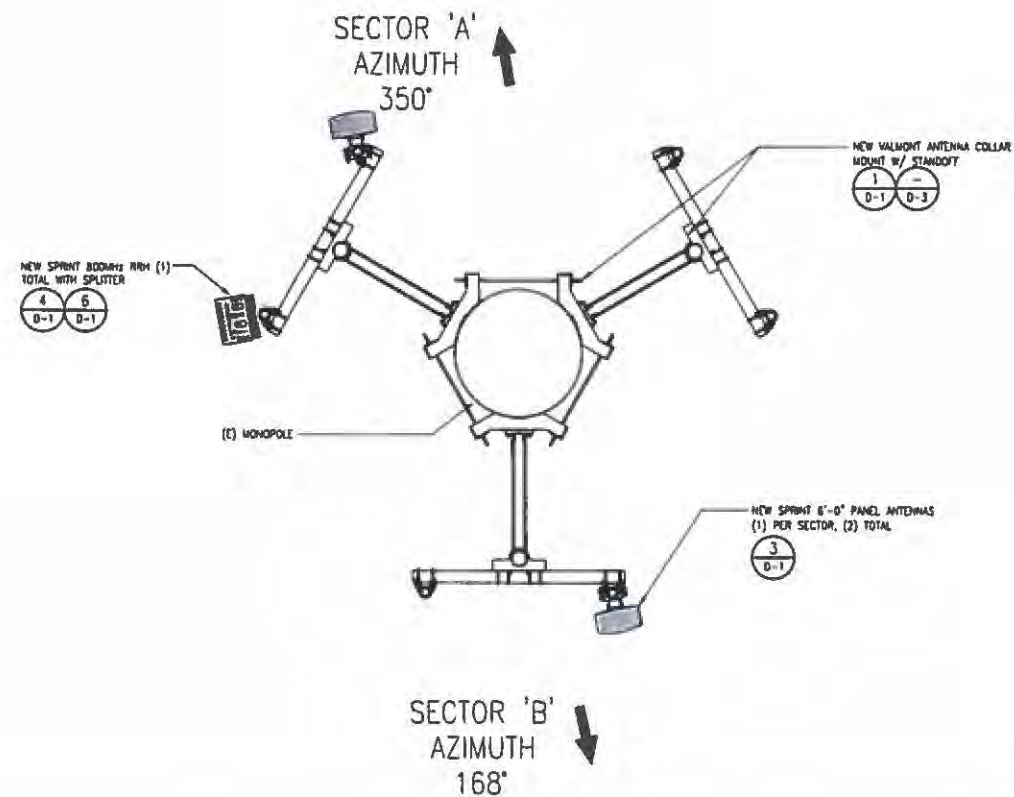
SITE PLAN

SCALE
1"=100'-0"
0 50 100
1

ENLARGED EQUIPMENT AREA

SCALE
3/16"=1'-0"
0 2 4 6
2

NOTE:
EXISTING OTHER CARRIER ANTENNAS NOT
SHOWN FOR CLARITY.



PROPOSED ANTENNA LAYOUT

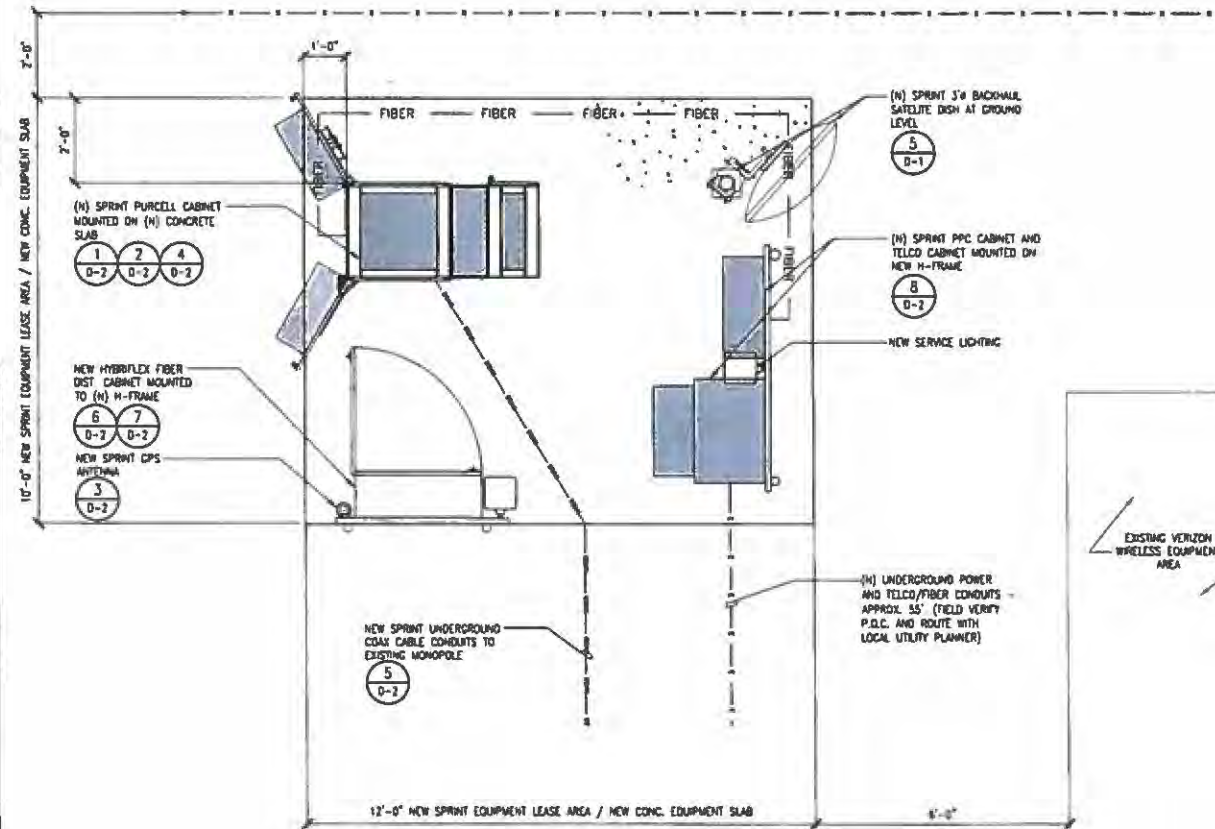
SCALE: 1/2"=1'-0" 2

PROPOSED ANTENNA SCHEDULE

SECTOR	ANTENNA			ANTENNA AZIMUTH	RAD CENTER	DAP / RRH / PARABOLIC	CABLE TYPE	CABLE LENGTH
	FREQUENCY	MODEL	SIZE					
SECTOR "A"	A1	800/1900	APXVSP18-C-A20	72"	350'	±130'-0"	(1) RRH-2X50-800	(1) 1-1/4" HYBRIFLEX CABLE 165'
	A2	-	-	-	-	-	-	
	A3	-	-	-	-	-	-	
SECTOR "B"	B1	800/1900	APXVSP18-C-A20	72"	168'	±130'-0"	-	(1) 1-1/4" HYBRIFLEX CABLE 165'
	B2	-	-	-	-	-	-	
	B3	-	-	-	-	-	-	
SECTOR "C"	C1	SATELITE DISH	BACKHAUL SATELITE DISH	36"	141'	±7'-0"	-	-
	C2	-	-	-	-	-	-	
	C3	-	-	-	-	-	-	
TOTALS		3				2	2	

PROPOSED ANTENNA SCHEDULE

3



EQUIPMENT LAYOUT

SCALE: 1/2"=1'-0" 1

PLANS PREPARED FOR:

6591 Irvine Center Drive, Suite 100
Irvine, California 92618

PLANS PREPARED BY:

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28455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB #640-003

EQUIPMENT MANUFACTURER:

CONSULTANT:

SBA COMMUNICATIONS CORP.
510 GOETZ AVE
SANTA ANA, CA 92707

ENGINEERING LICENSE:

REGISTERED PROFESSIONAL ENGINEER
SIGNAL SYSTEMS
No. 82048
Exp. 12/31/19
CIVIL
STATE OF CALIFORNIA
Daniel L. Lillard

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90% CD's	08/24/18	GM	0
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SITE CASCADE:

**SB68XCDQA
CA20549A**

SITE ADDRESS:

20 GILL STATION COSO RD.,
OLANCHA, CA 93549

SHEET DESCRIPTION:

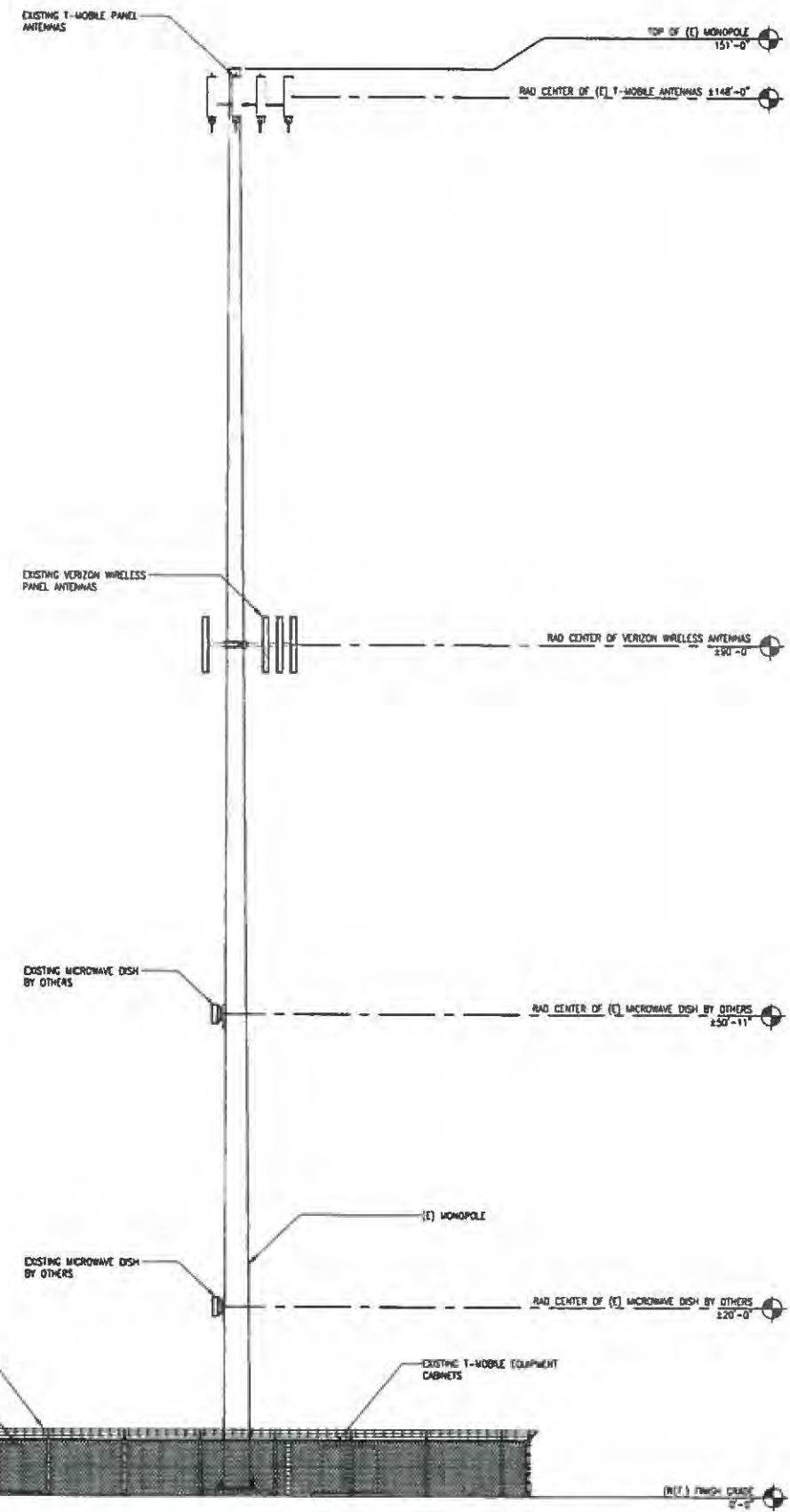
**EQUIP., ANTENNA LAYOUT,
& ANTENNA SCHEDULE**

SHEET NUMBER:

A-2

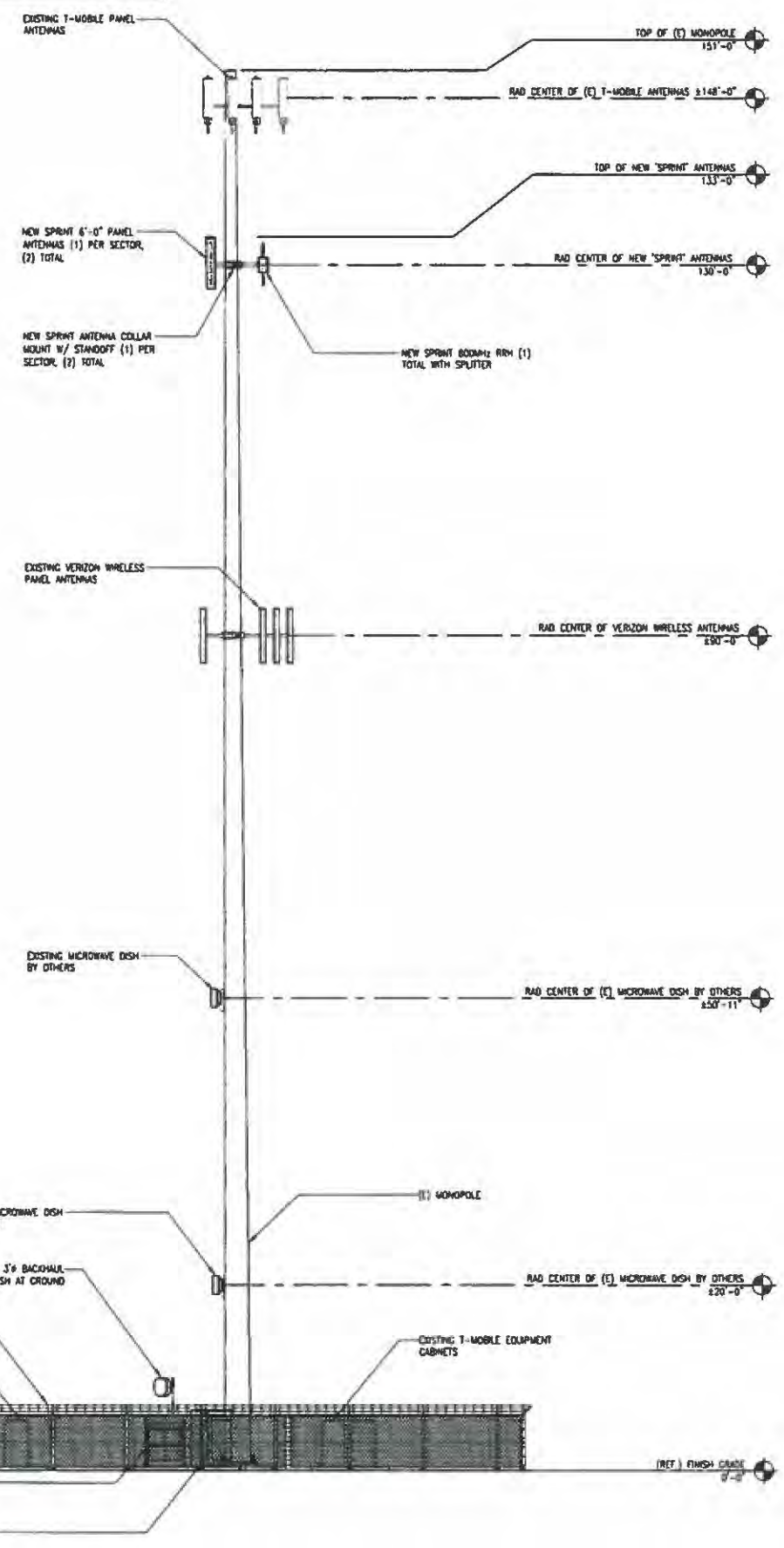


INFINIGY ENGINEERING HAS NOT EVALUATED THE TOWER OR MOUNTS FOR THIS PROJECT AND ASSUMES NO LIABILITY FOR ITS STRUCTURAL INTEGRITY. REFER TO STRUCTURAL ANALYSIS BY OTHERS PRIOR TO CONSTRUCTION



EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0" 1



PROPOSED NORTH ELEVATION

SCALE: 1/8"=1'-0" 2

PLANS PREPARED FOR:

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Irvine, California 92618

PLANS PREPARED BY:

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25455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB #448-003

EQUIPMENT MANUFACTURER:

CONSULTANT:

SBA COMMUNICATIONS CORP
510 GOETZ AVE.
SANTA ANA, CA 92707

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SITE NAME:

OLANCHA

SITE CASCADE:

**SB68XCDQA
CA20549A**

SITE ADDRESS:

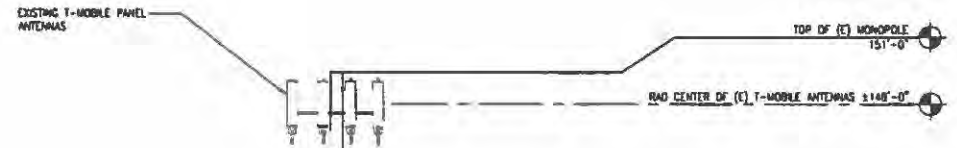
20 GILL STATION COSO RD.,
OLANCHA, CA 93549

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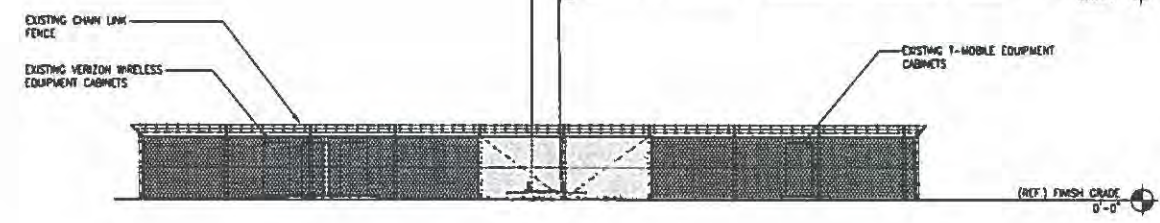
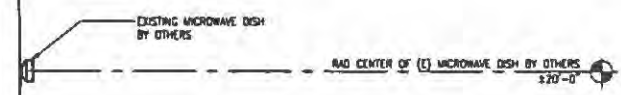
**NORTH
ELEVATIONS**

SHEET NUMBER:

A-3



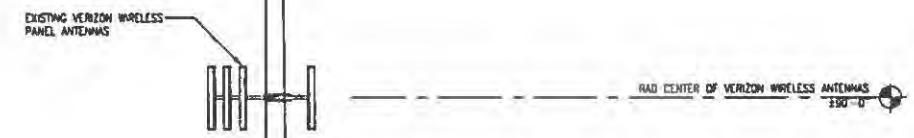
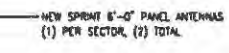
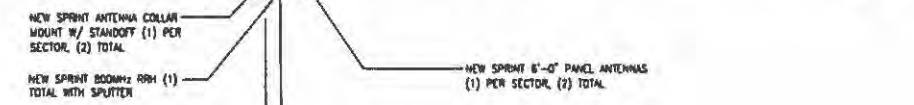
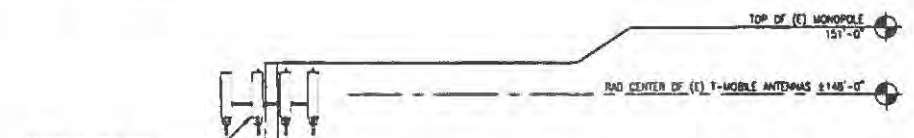
(E) MONOPOLE



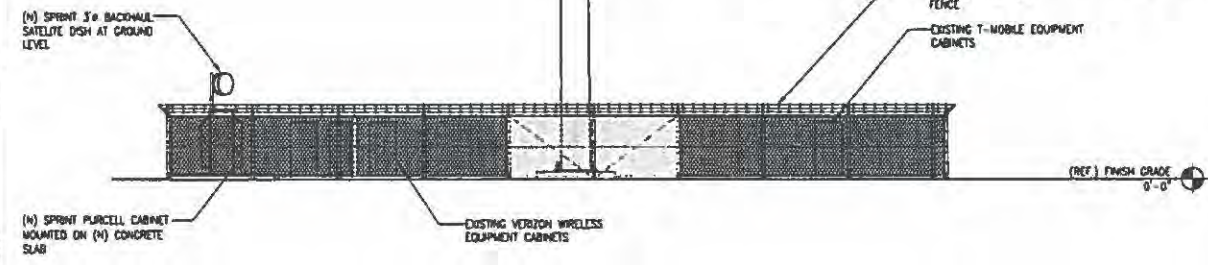
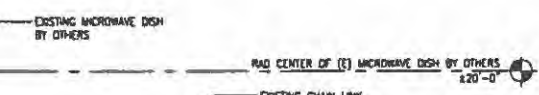
EXISTING WEST ELEVATION

SCALE: 1/8"=1'-0" 1

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(E) MONOPOLE



PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0" 2

PLANS PREPARED FOR:

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Irvine, California 92618

PLANS PREPARED BY:

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26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB #140-003

EQUIPMENT MANUFACTURER:

CONSULTANT:

SBA COMMUNICATIONS CORP.
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100% CD's	09/24/18	CH	1
100% CD's	10/11/18	JPC	2

SITE NAME:

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SITE CASCADE:

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CA20549A**

SITE ADDRESS:

**20 GILL STATION COSO RD.,
OLANCHA, CA 93549**

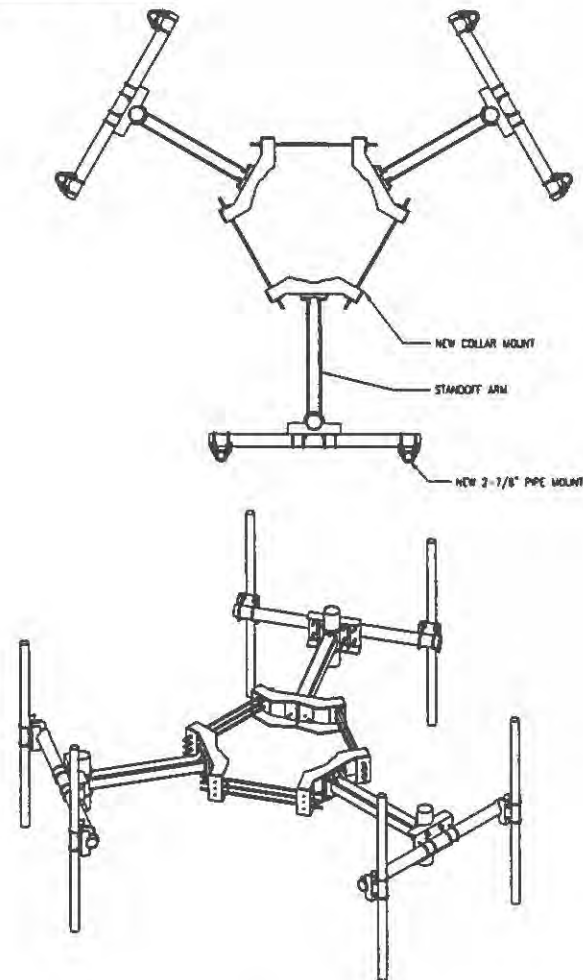
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**WEST
ELEVATIONS**

SHEET NUMBER:

A-3.1

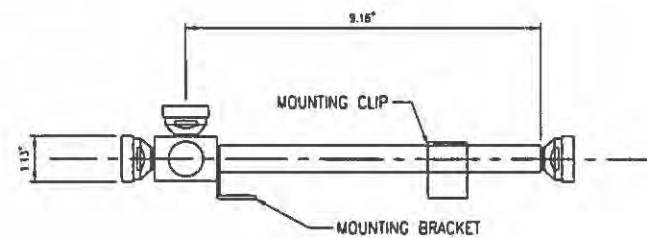
MODEL: RMV5-272
 MANUFACTURER: VALMONT
 WEIGHT: 45 LBS



ANTENNA MOUNT W/ STANDOFF

NO SCALE

1



800-2500 3 WAY SPLITTER

NO SCALE

4

NOT USED

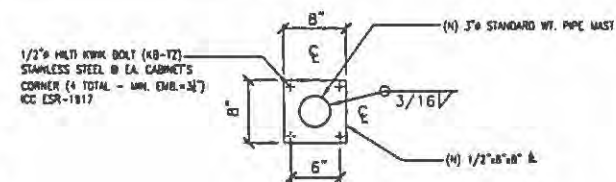
NO SCALE

2

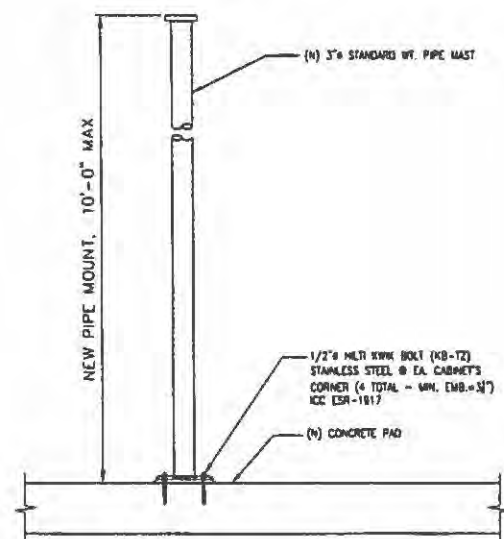
6'-0" DUAL BAND 800/1900MHz ANTENNA

NO SCALE

3



ANCHORAGE DETAIL



ELEVATION VIEW

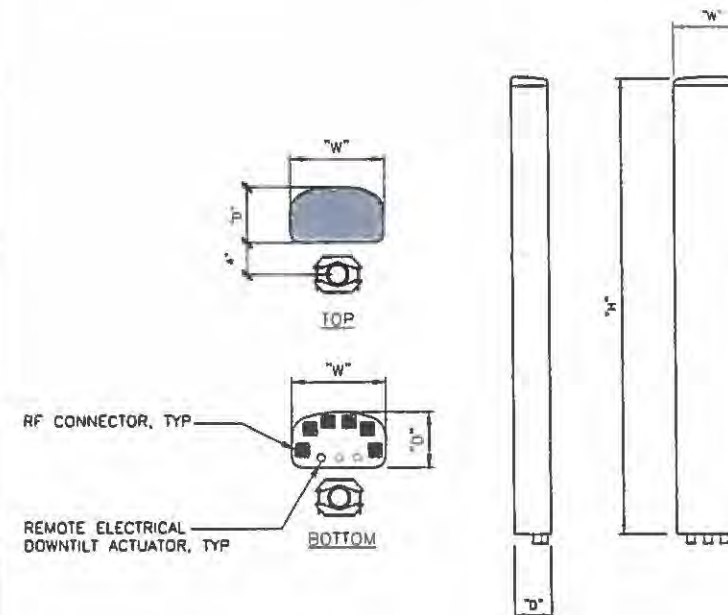
MICROWAVE MOUNT

NO SCALE

5

ANTENNA MAKE AND MODEL

MANUFACTURER: RFS/CELLWAVE
 MODEL: APXVSP18-C-A20
 DIMENSIONS, HxWxD: 72" X 11.8" X 7"
 WEIGHT: 57 lbs



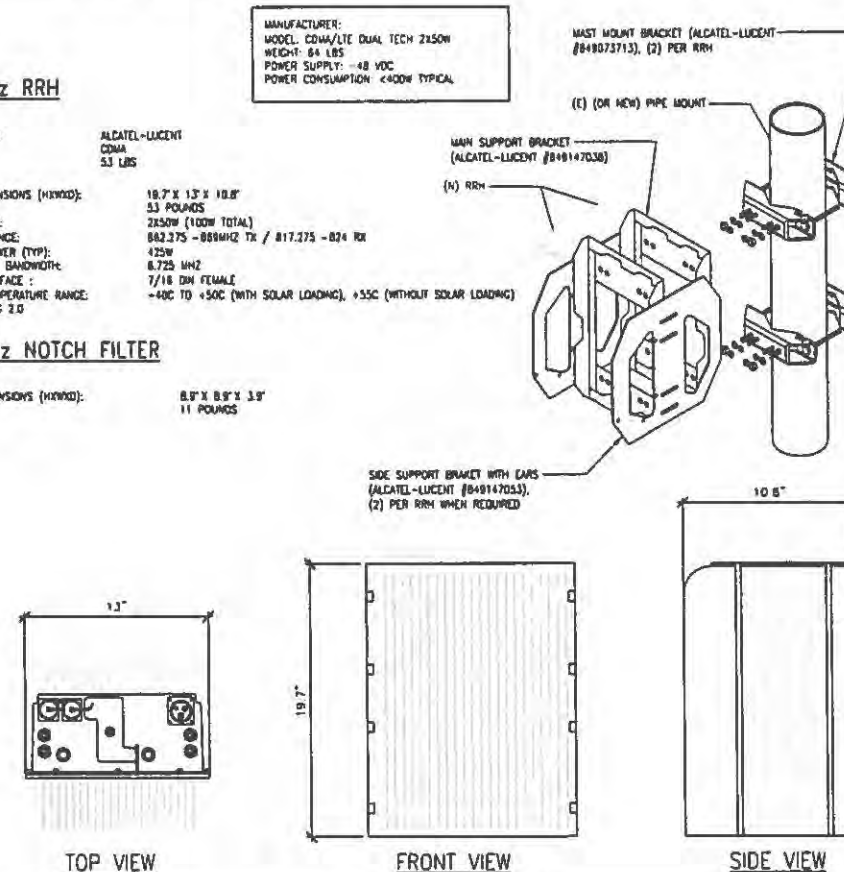
800 MHz RRH

MANUFACTURER: ALCATEL-LUCENT
 MODEL: CDMA
 WEIGHT: 53 LBS

PHYSICAL DIMENSIONS (HxWxD): 18.7" X 13" X 10.8"
 WEIGHT: 53 POUNDS
 OUTPUT POWER: 2350W (100W TOTAL)
 FREQUENCY RANGE: 842.275 - 888MHz TX / 817.275 - 824 MHz
 CONSIDERED POWER (TYP): 425W
 INSTANTANEOUS BANDWIDTH: 6.725 MHz
 ANTENNA INTERFACE: 7/16 DIN FEMALE
 OPERATING TEMPERATURE RANGE: -40C TO +50C (WITH SOLAR LOADING), +55C (WITHOUT SOLAR LOADING)
 SUPPORTS ASS 2.0

800 MHz NOTCH FILTER

PHYSICAL DIMENSIONS (HxWxD): 8.8" X 8.8" X 1.8"
 WEIGHT: 11 POUNDS



TOP VIEW

FRONT VIEW

SIDE VIEW

800 MHz RRH DETAIL

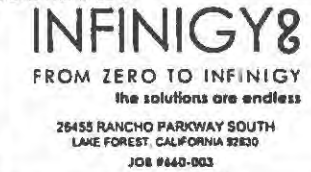
NO SCALE

6

PLANS PREPARED FOR:



PLANS PREPARED BY:



EQUIPMENT MANUFACTURER:



CONSULTANT:



SBA COMMUNICATIONS CORP
 510 GOETZ AVE
 SANTA ANA, CA 92707

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100% CD's	09/24/18	DN	1
100% CD's	10/11/18	JPC	2

SITE NAME:

OLANCHA

SITE CASCADE:

SB68XCDQA
 CA20549A

SITE ADDRESS:

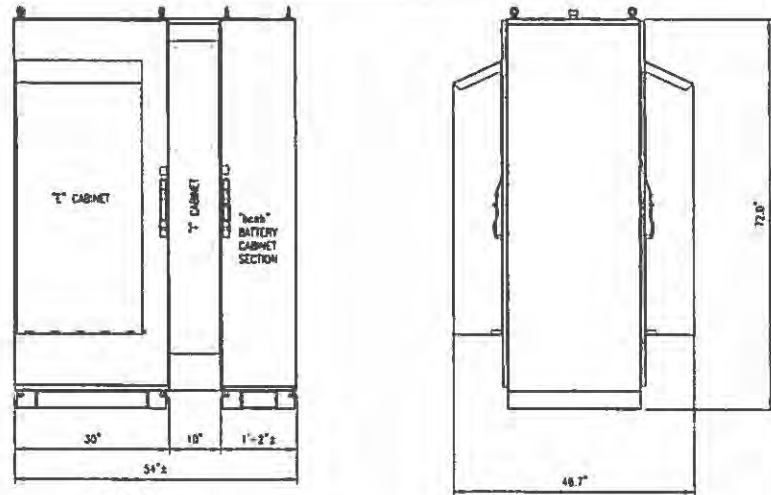
20 GILL STATION COSO RD.,
 OLANCHA, CA 93549

SHEET DESCRIPTION:

EQUIPMENT DETAILS

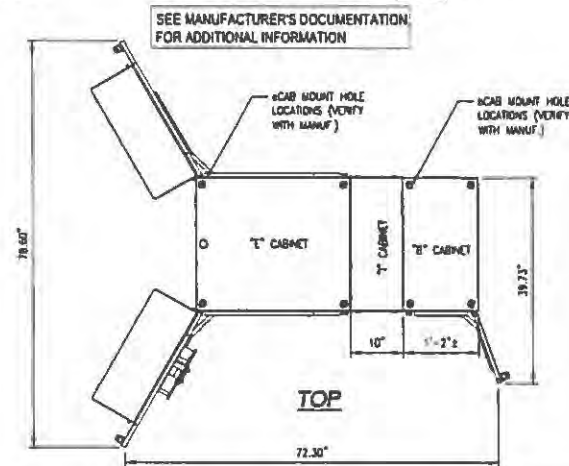
SHEET NUMBER:

D-1



FRONT

SIDE

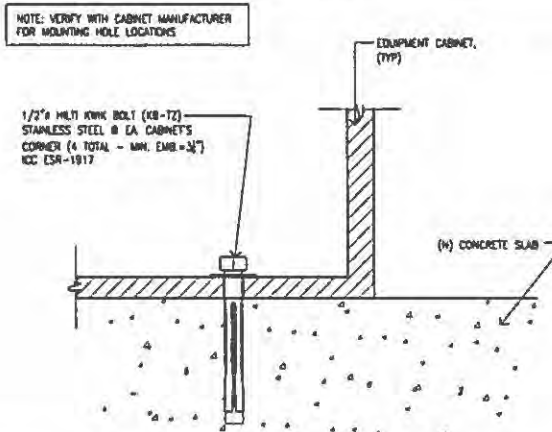


TOP

(N) PURCELL / BATTERY CABINET DETAIL

NO SCALE

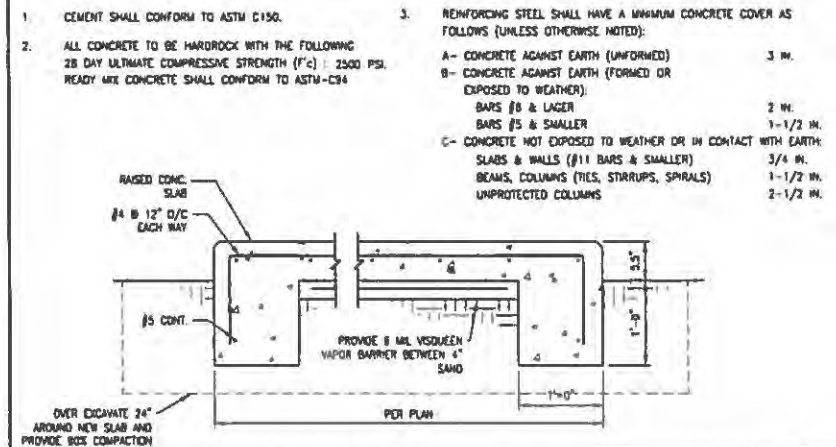
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(N) EQUIPMENT MOUNTING DETAIL

NO SCALE

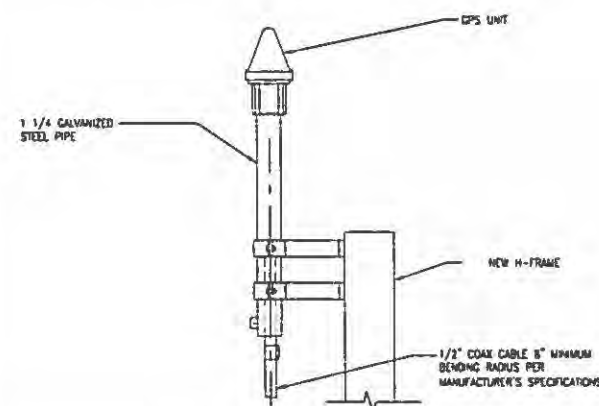
2



CONCRETE SLAB SECTION

NO SCALE

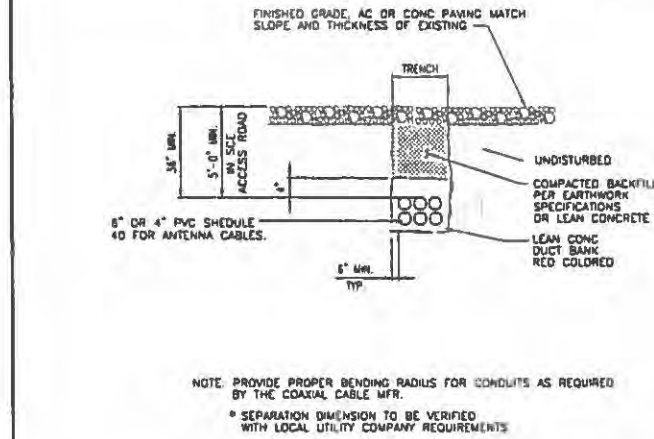
4



GPS ANTENNA DETAIL

NO SCALE

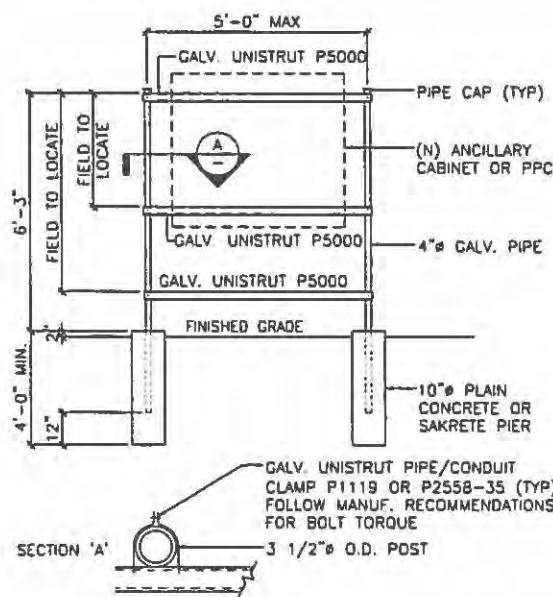
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CONDUIT TRENCH DETAIL

NO SCALE

5



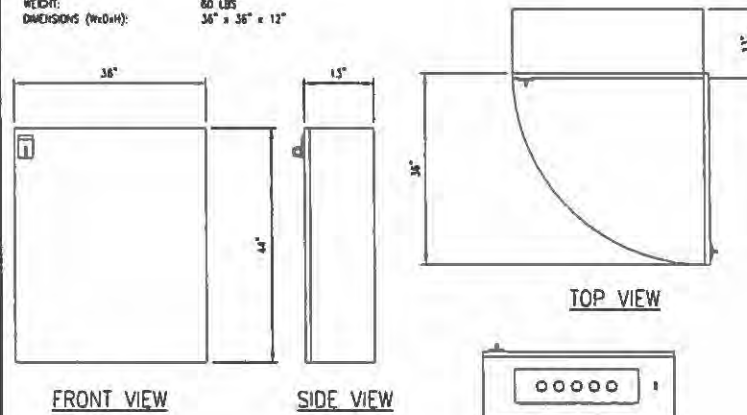
(N) H-FRAME DETAIL

NO SCALE

6

FIBER OPTIC & DC POWER JUNCTION BOX

MAKE: PHOENIX CONTACT
MODEL: 9800980
WEIGHT: 60 LBS
DIMENSIONS (WxDxH): 36" x 36" x 12"

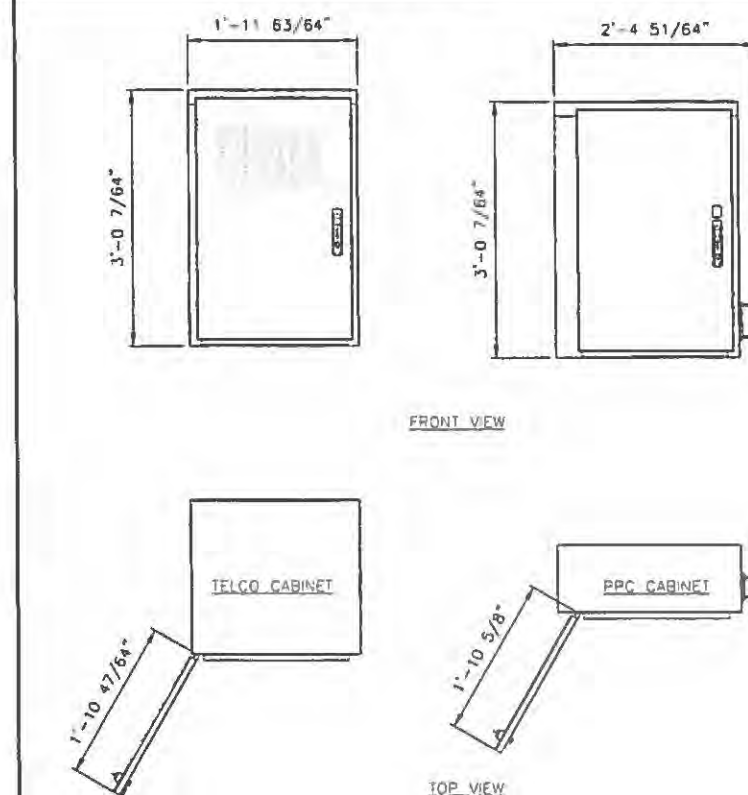


DC DIST. / FIBER MANG. BOX	CLEARANCES MM (INCHES)	COMMENTS
FRONT	914 (36)	INSTALLATION ACCESS
REAR	50 (1.97)	0" CLR W/ MOUNTING BRACKETS
RIGHT	152 (6)	INSTALLATION ACCESS
LEFT	152 (6)	INSTALLATION ACCESS
TOP	152 (6)	INSTALLATION ACCESS
BOTTOM	304 (12)	CONDUIT ROUTING

DISTRIBUTION BOX

NO SCALE

7



POWER / TELCO CABINET DETAIL

NO SCALE

8

PLANS PREPARED FOR

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Irvine, California 92618

PLANS PREPARED BY

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28455 RANCHO PARKWAY SOUTH
LAKE FOREST CALIFORNIA 92330
JOB #640-003

EQUIPMENT MANUFACTURER:

CONSULTANT:

SBA COMMUNICATIONS CORP
510 GOETZ AVE.
SANTA ANA, CA 92707

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SITE NAME:

OLANCHA

SITE CASCADE:

**SB68XCDQA
CA20549A**

SITE ADDRESS:

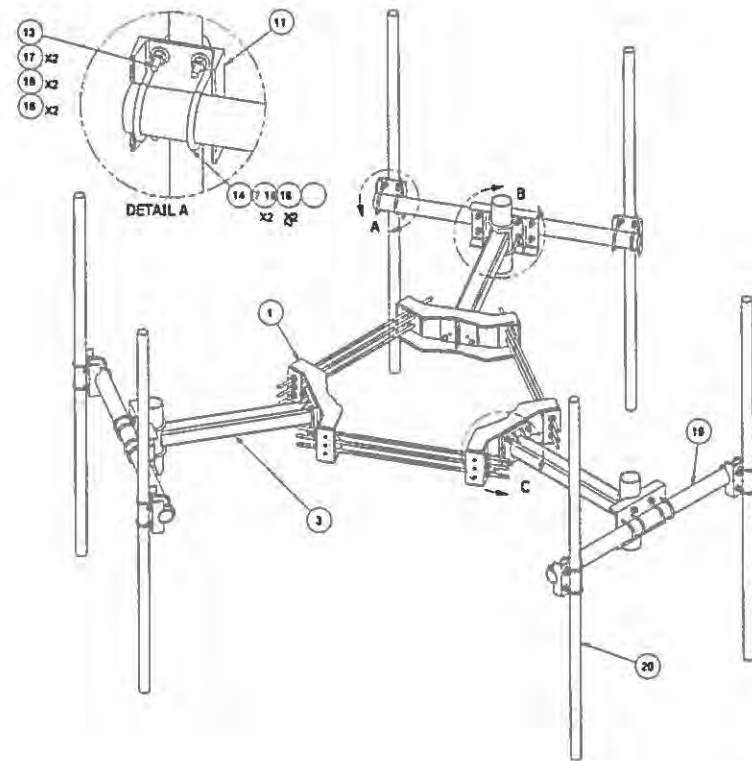
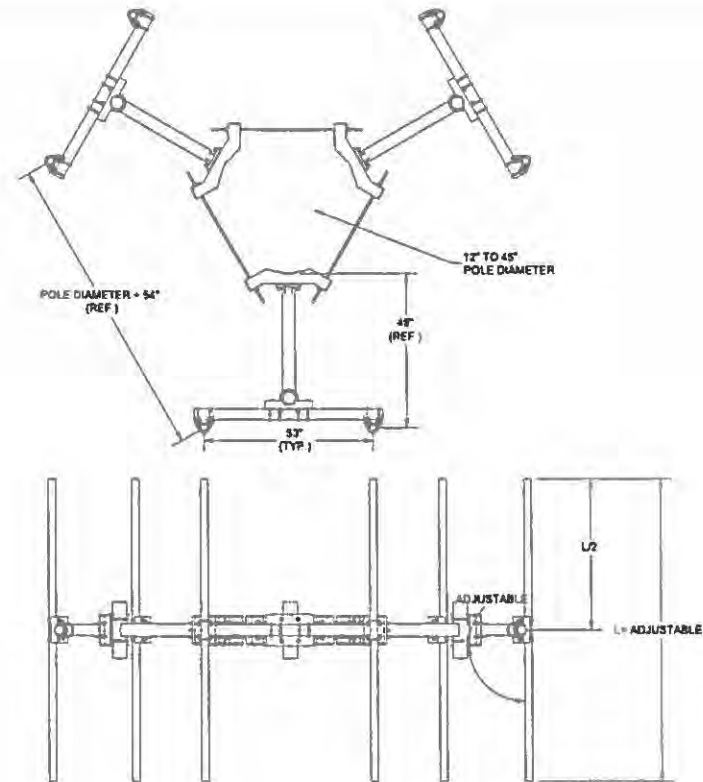
20 GILL STATION COSO RD.,
OLANCHA, CA 93549

SHEET DESCRIPTION:

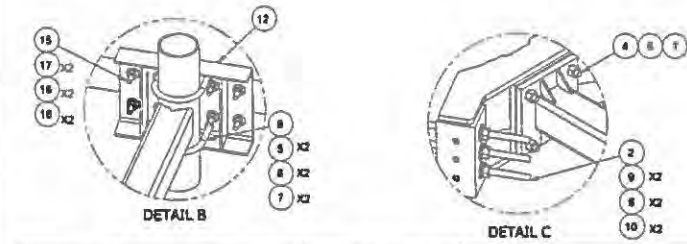
EQUIPMENT DETAILS

SHEET NUMBER:

D-2



PARTS LIST						
ITE QTY	PART NO	PART DESCRIPTION	LENGTH	UNIT WT	NET WT	
1	3	X-LWRM	RING MOUNT WELDMENT	88.81	208.42	
2	8	G58R-24	5/8" X 24" THREADED ROD (HDG)	0.40	3.59	
2	9	G58R-48	5/8" X 48" GALV THREADED ROD	4.29	39.52	
3	3	X-SV187-38	SUPPORT ARM WELDMENT - 38"	87.29	201.85	
4	12	A58234	5/8" X 2-3/4" HDG A325 HEX BOLT	2.75	0.36	4.27
5	12	A58FW	5/8" HDG A325 FLATWASHER	0.03	0.41	
6	42	G58LW	5/8" HDG LOCKWASHER	0.03	1.10	
7	24	A58NUT	5/8" HDG A325 HEX NUT	0.13	3.12	
8	8	X-UB5458	3/4" X 4-5/8" X 7" X 3" U-BOLT (HDG)	0.28	1.54	
9	18	G58FW	5/8" HDG USS FLATWASHER	0.07	1.27	
10	18	G58NUT	5/8" HDG HEAVY 2H HEX NUT	0.13	2.34	
11	8	X-SP218	SMALL SUPPORT CROSS PLATE	8.250 in	8.61	31.06
12	3	X-SP218	LARGE SUPPORT CROSS PLATE	20.83	62.48	
13	12	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG)	0.26	3.08	
14	12	X-UB1306	1/2" X 3-5/8" X 8" X 3" U-BOLT (HDG)	0.26	3.08	
15	12	X-UB1336	1/2" X 3-5/8" X 5-1/2" X 3" U-BOLT (HDG)	0.26	3.08	
16	88	G12NUT	1/2" HDG HEAVY 2H HEX NUT	0.07	4.73	
17	66	G12FW	1/2" HDG USS FLATWASHER	0.03	2.25	
18	66	G12LW	1/2" HDG LOCKWASHER	0.01	0.92	
19	3	P380	3-1/2" X 60" SCH 40 GALVANIZED PIPE	37.97	113.90	
20	8	A	B	C	D	



2-3/8" MOUNTING PIPES					
ASSEMBLY NO.	PART NO "A"	PART DESCRIPTION "B"	LENGTH "C"	UNIT WT "D"	TOTAL WT
RMV5-263	P263	2-3/8" O.D. SCH. 40 PIPE	65"	10.22	880.71
RMV5-272	P272	2-3/8" O.D. SCH. 40 PIPE	72"	21.07	883.81
RMV5-284	P284	2-3/8" O.D. SCH. 40 PIPE	84"	28.91	1006.55
RMV5-298	P298	2-3/8" O.D. SCH. 40 PIPE	96"	38.78	1229.95
RMV5-3126	P2126	2-3/8" O.D. SCH. 40 PIPE	126"	48.75	1689.88

TOLERANCE NOTES TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES (+/- 0.030") DRILLED AND GAS CUT HOLES (+/- 0.030") - NO CORING OF HOLES LASER CUT EDGES AND HOLES (+/- 0.015") - NO CORING OF HOLES BENDS ARE +/- 1/2 DEGREE ALL OTHER MACHINING (+/- 0.030") ALL OTHER ASSEMBLY (+/- 0.080")		DESCRIPTION MONOPOLE TRIPLE T-ARM FOR 8 ANTENNAS	SITE PRO 1 Engineering Support Team 1-855-733-7446
A REMOVE FLATWASHERS FROM ARM TO CLAMP RING CONNECTION CEH 11/14/11 REV DESCRIPTION OF REVISIONS CPD BY DATE REVISION HISTORY	CPD NO 4543 DRAWN BY CEK 4/15/2011 CHECKED BY CUSTOMER DATE 4/28/2011	ENG APPROVAL DATE 4/15/2011 CHECKED BY BMC 4/28/2011	PART NO SEE "ASSEMBLY NO." DWG NO RMV5-2XX DATE 1 DEC 2 11

PLANS PREPARED FOR:

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Irvine, California 92618

PLANS PREPARED BY:

INFINIGY8
FROM ZERO TO INFINIGY
the solutions are endless

26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 91031
JOB #640-003

EQUIPMENT MANUFACTURER:

Alcatel-Lucent

CONSULTANT:

SBA COMMUNICATIONS CORP
510 GOETZ AVE
SANTA ANA, CA 92707

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OLANCHA

SITE CASCADE:

**SB68XCDQA
CA20549A**

SITE ADDRESS:

20 GILL STATION COSO RD.,
OLANCHA, CA 93549

SHEET DESCRIPTION:

VALMONT SPEC SHEETS

SHEET NUMBER:

D-3

REVISIONS:	DESCRIPTION	DATE	BY	REV
90% CD's		08/24/18	DN	0
100% CD's		09/24/18	DN	1
100% CD's		10/11/18	JPC	2

SITE NAME:
OLANCHA

SITE CASCADE:
**SB68XCDQA
 CA20549A**

SITE ADDRESS:
 20 GILL STATION COSO RD.,
 OLANCHA, CA 93549

SHEET DESCRIPTION:
RF DATA SHEET

SHEET NUMBER:
D-4

FIGURE 19.1 CABLE COLOR CODE

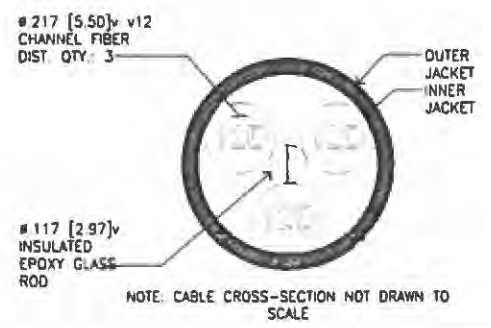
TYPICAL COAX CABLE COLOR CODING SCHEME				
SECTOR	CABLE	FIRST RING	SECOND RING	THIRD RING
1 - ALPHA	1	GRN	NO TAPE	NO TAPE
1	2	BLU	NO TAPE	NO TAPE
1	3	BRN	NO TAPE	NO TAPE
1	4	WHT	NO TAPE	NO TAPE
1	5	RED	NO TAPE	NO TAPE
1	6	SLT	NO TAPE	NO TAPE
1	7	PPL	NO TAPE	NO TAPE
1	8	ORG	NO TAPE	NO TAPE
2 - BETA	1	GRN	GRN	NO TAPE
2	2	BLU	BLU	NO TAPE
2	3	BRN	BRN	NO TAPE
2	4	WHT	WHT	NO TAPE
2	5	RED	RED	NO TAPE
2	6	SLT	SLT	NO TAPE
2	7	PPL	PPL	NO TAPE
2	8	ORG	ORG	NO TAPE
3 - GAMMA	1	GRN	GRN	GRN
3	2	BLU	BLU	BLU
3	3	BRN	BRN	BRN
3	4	WHT	WHT	WHT
3	5	RED	RED	RED
3	6	SLT	SLT	SLT
3	7	PPL	PPL	PPL
3	8	ORG	ORG	ORG

FIGURE 19.2 COLOR CODE

2.5 FREQUENCY	INDICATOR		ID
2500 -1	YEL	WHT	GRN
2500 -2	YEL	WHT	RED
2500 -3	YEL	WHT	BRN
2500 -4	YEL	WHT	BLU
2500 -5	YEL	WHT	SLT
2500 -6	YEL	WHT	ORG
2500 -7	YEL	WHT	WHT
2500 -8	YEL	WHT	PPL

NV FREQUENCY	INDICATOR	ID
800-1	YEL	GRN
1900-1	YEL	RED
1900-2	YEL	BRN
1900-3	YEL	BLU
1900-4	YEL	SLT
800-1	YEL	ORG
RESERVED	YEL	WHT
RESERVED	YEL	PPL

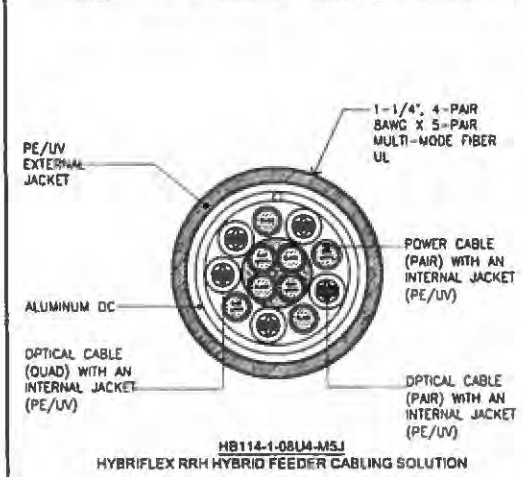
- NOTES:
- ALL CABLES SHALL BE MARKED AT THE TOP AND BOTTOM WITH 2" COLORED TAPE, STENCIL TAG COLORED TAPE, OR COLORED HEAT SHRINK TUBING.
 - COLORED TAPE MAY BE OBTAINED FROM GRAYBAR ELECTRONIC. UV STABILIZED TAPE OR HEAT SHRINK ARE PREFERRED.
 - THE FIRST RING SHALL BE CLOSEST TO THE END OF THE CABLE, AND THERE SHALL BE A 1" SPACE BETWEEN EACH RING.
 - THE CABLE COLOR CODE SHALL BE APPLIED IN ACCORDANCE TO TABLE 19-1.
 - A) TABLE 19-1 ONLY SHOWS 3 SECTORS, BUT ADDITIONAL SECTORS ARE EASILY SUPPORTED BY ADDING THE APPROPRIATE NUMBER OF COLORED RINGS TO THE CABLE COLOR CODE.
 - AFTER THE CABLE COLOR CODE IS APPLIED, THE FREQUENCY COLOR CODE, TABLE 19-2, MUST BE APPLIED FOR THE SPECIFIC FREQUENCY BAND IN USE ON A GIVEN LINE.
 - A) 2" GAP SHALL SEPARATE THE CABLE COLOR CODE FROM THE FREQUENCY COLOR CODE.
 - B) THE 2" COLOR RINGS FOR THE FREQUENCY CODE SHALL BE PLACED NEXT TO EACH OTHER WITH NO SPACES.
 - WRAP 2" COLORED TAPE A MINIMUM OF (3) TIMES AROUND THE COAX, AND KEEP THE TAPE IN THE SAME AREA AS MUCH AS POSSIBLE. THIS WILL ALLOW REMOVAL OF TAPE THAT FADES OR DISCOLORS DUE TO WEATHER.
 - EXAMPLES OF THE CABLE AND FREQUENCY COLOR CODES ARE SHOWN IN FIGURE 19-1 AND FIGURE 19-2.



HYBRIFLEX RRH FIBER ONLY CABLING SOLUTION, DX18, RISER, 5/8", MULTI-MODE FIBER	
MECHANICAL PROPERTIES	
WEIGHT, APPROXIMATE	0.36 (0.242)
MINIMUM BENDING RADIUS, SINGLE BENDING	90 (4)
MINIMUM BENDING RADIUS, REPEATED BENDING	254 (10)
FIBER OPTIC PROPERTIES	
VERSION	MULTI-MODE BEND TOLERANT FIBER-12 CHANNEL CABLE
QUANTITY, FIBER COUNT	18 PAIRS (9 MAIN, 9 SPARES)
MINIMUM BENDING RADIUS (INSTALLATION)	114.3 (4.5)
ENVIRONMENT INSTALLATION TEMPERATURE	-20 TO +65 (-4 TO +149)
OPERATION TEMPERATURE	-40 TO +65 (-40 TO +149)
STORAGE TEMPERATURE	-40 TO +70 (-40 TO +158)

HYBRIFLEX FIBER CABLE - SPECIFICATIONS		
ASSEMBLY LENGTH, FT	MODEL NUMBER	DESCRIPTION
25	HB05B-M12-025F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS
50	HB05B-M12-050F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS
75	HB05B-M12-075F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS
100	HB05B-M12-100F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS
125	HB05B-M12-125F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS
150	HB05B-M12-150F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS
175	HB05B-M12-175F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS
200	HB05B-M12-200F	18PR MULTI-MODE FIBER TOP: 3 MPO CONNECTOR; BOTTOM: 18 LC CONNECTORS

HYBRIFLEX 5/8"Ø, MULTI-MODE FIBER



STRUCTURE		
OUTER CONDUCTOR CORRUGATED ARMOR	[MM (IN)]	36.0 (1.42)
ARMOR	ALUMINUM	
JACKET	POLYETHYLENE, PE	39.0 (1.54)
UV-PROTECTION	INDIVIDUAL AND EXTERNAL JACKET	YES
MECHANICAL PROPERTIES		
WEIGHT, APPROXIMATE	[KG/M (LB/FT)]	1.61 (1.08)
MINIMUM BENDING RADIUS, SINGLE BENDING	[MM (IN)]	200 (8)
MINIMUM BENDING RADIUS, REPEATED BENDING	[MM (IN)]	500 (20)
RECOMMENDED/MAXIMUM CLAMP SPACING	[M (FT)]	1.0/1.2 (3.25/4.0)
ELECTRICAL PROPERTIES		
DC-RESISTANCE OUTER CONDUCTOR ARMOR	[Ω/KM (Ω/1000FT)]	1.61 (1.08)
DC-RESISTANCE POWER CABLE, 8.4MM² (RAWG)	[Ω/1000FT]	2.1 (.64)
FIBER OPTIC PROPERTIES		
VERSION		MULTI-MODE
QUANTITY, FIBER COUNT		5 PAIRS
CORE/CLAD	[µm]	50/125
PRIMARY COATING (ACRYLATE)	[µm]	245
BUFFER DIAMETER, NOMINAL	[µm]	900
SECONDARY PROTECTION, JACKET, NOMINAL	[MM (IN)]	2.0 (0.08)
STANDARDS (MEETS OR EXCEEDS)		UL94-V0, UL1666 RoHS COMPLIANT
DC POWER CABLE PROPERTIES		
SITE	[MM² (AWG)]	8.4 (8)
QUANTITY, WIRE COUNT		8 (4 PAIRS)
TYPE		UV PROTECTED
STRANDS		19
PRIMARY JACKET DIAMETER, NOMINAL	[MM (IN)]	6.1 (0.24)
STANDARDS (MEETS OR EXCEEDS) *REFER TO SPEC SHEET*		ICEA 5-95-658

ANTENNA AND CABLE COLOR CODE STANDARDS

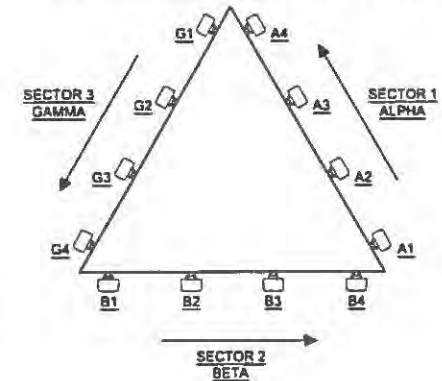
SCALE N.T.S. 4

HYBRIFLEX 1-1/4"Ø, MULTI-MODE FIBER

SCALE N.T.S. 2

HYBRID		2.5 Band		NV CABLES			
HYBRID	COLOR	2500 Radio 1	COLOR	BAND	INDICATOR	PORT	COLOR
1	GRN	YEL WHT	GRN	800-1	YEL GRN	NV-1	GRN
2	BLU	YEL WHT	BLU	1900-1	YEL RED	NV-2	BLU
3	BRN	YEL WHT	BRN	1900-2	YEL BRN	NV-3	BRN
4	WHT	YEL WHT	WHT	1900-3	YEL BLU	NV-4	WHT
5	RED	YEL WHT	RED	1900-4	YEL SLT	NV-5	RED
6	SLT	YEL WHT	SLT	800-2	YEL ORG	NV-6	SLT
7	PPL	YEL WHT	PPL	SPARE	YEL WHT	NV-7	PPL
8	ORG	YEL WHT	ORG	2500	YEL PPL	NV-8	ORG

FIGURE 1: ANTENNA ORIENTATION



ANTENNA AND CABLE COLOR CODE STANDARDS

SCALE N.T.S. 3

GENERAL NOTES:

1. THE SEISMIC BRACING AND ANCHORAGE OF ELECTRICAL CONDUITS AND WIRE WAY SHALL BE IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE AND "GUIDELINE FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS," PUBLISHED BY SMACNA AND PPIC, OR THE SUPER STRUT -SEISMIC RESTRAINT, OR THE KW-LINE SEISMIC RESTRAINT SYSTEM.

2. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL) AND BEAR THEIR LABEL, OR LISTED AND CERTIFIED BY A NATIONALLY RECOGNIZED TESTING AUTHORITY WHERE UL DOES NOT HAVE A LISTING. CUSTOM MADE EQUIPMENT SHALL HAVE COMPLETE TEST DATA SUBMITTED BY THE MANUFACTURER ATTESTING TO ITS SAFETY. IN ADDITION, THE MATERIALS, EQUIPMENT, AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING:

- AMERICAN SOCIETY OF TESTING MATERIALS (ASTM)
- INSULATED POWER CABLE ENGINEERS ASSOCIATION (IPCEA)
- NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
- AMERICAN STANDARD ASSOCIATION (ASA)
- FIRE PROTECTION AGENCY (NFPA)
- AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)
- CALIFORNIA ELECTRICAL CODE (CEC) - LATEST EDITION
- CALIFORNIA CODE OF REGULATIONS TITLE 24 (CCR)
- INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
- ALL LOCAL CODES AND ORDINANCES OF AGENCIES HAVING JURISDICTION, WHERE THE CODES HAVE DIFFERENT LEVELS OF REQUIREMENTS, THE MOST STRINGENT RULE SHALL APPLY.

3. THE CONTRACTOR SHALL VISIT THE SITE INCLUDING ALL AREAS INDICATED ON THE DRAWINGS. THEY SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND BY SUBMITTING A BID, ACCEPTS THE CONDITIONS UNDER WHICH THEY SHALL BE REQUIRED TO PERFORM THEIR WORK.

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COMPLETE SET OF CONTRACT DOCUMENTS, ADDENDA, DRAWINGS AND SPECIFICATIONS. THEY SHALL CHECK THE DRAWINGS OF THE OTHER TRADES AND SHALL CAREFULLY READ THE ENTIRE SPECIFICATIONS AND DETERMINE THEIR RESPONSIBILITIES. FAILURE TO DO SO SHALL NOT RELEASE THE CONTRACTOR FROM DOING THE WORK IN COMPLETE ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS

5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, CHARGES, AND INCIDENTAL COSTS NECESSARY FOR EXECUTION AND COMPLETION OF ELECTRICAL WORK, INCLUDING ALL CHARGES BY STATE, COUNTY AND LOCAL GOVERNMENTAL AGENCIES.

6. THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER TRADES AT THE SITE, ANY COSTS TO INSTALL WORK TO ACCOMPLISH SAID COORDINATION WHICH DIFFERS FROM THE WORK AS SHOWN ON THE DRAWINGS SHALL BE INCURRED BY THE CONTRACTOR. ANY DISCREPANCIES, AMBIGUITIES OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING BID TIME FOR CLARIFICATION. ANY SUCH CONFLICTS NOT CLARIFIED PRIOR TO BID SHALL BE SUBJECT TO THE INTERPRETATION OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.

7. THE CONTRACTOR SHALL PROVIDE AND KEEP UP-TO-DATE A COMPLETE RECORD SET OF DRAWINGS. UPON COMPLETION OF THE WORK, A SET OF REPRODUCIBLE CONTRACT DRAWINGS SHALL BE OBTAINED FROM THE ARCHITECT, AND ALL CHANGES AS NOTED ON THE RECORD SET OF DRAWINGS SHALL BE INCORPORATED THEREON WITH BLACK INK IN A NEAT, LEGIBLE, UNDERSTANDABLE AND PROFESSIONAL MANNER. FAILURE TO KEEP RECORD DRAWINGS UP-TO-DATE SHALL CONSTITUTE CAUSE FOR WITHHOLDING OF PROGRESS PAYMENTS.

8. ALL INTERRUPTION OF ELECTRICAL POWER SHALL BE KEPT TO A MINIMUM. HOWEVER, WHEN AN INTERRUPTION IS NECESSARY, THE SHUTDOWN MUST BE COORDINATED WITH THE OWNER 14 DAYS PRIOR TO THE OUTAGE. ANY OVERTIME PAY SHALL BE INCLUDED IN THE CONTRACTOR'S BID. WORK IN EXISTING SWITCHBOARDS OR PANELBOARDS SHALL BE COORDINATED WITH THE OWNER PRIOR TO REMOVING ACCESS PANELS OR DOORS.

9. SHOP DRAWINGS SHALL BE SUBMITTED FOR ITEMS INDICATED ON PLANS. SHOP DRAWINGS SHALL INCLUDE ALL DATA WITH CAPACITIES, SIZES, DIMENSIONS, CATALOG NUMBERS AND MANUFACTURER'S BROCHURES.

10. AFTER ALL REQUIREMENTS OF THE SPECIFICATIONS AND/OR THE DRAWINGS HAVE BEEN FULLY COMPLETED, REPRESENTATIVES OF THE OWNER WILL INSPECT THE WORK. THE CONTRACTOR SHALL PROVIDE COMPETENT PERSONNEL TO DEMONSTRATE THE OPERATION OF ANY ITEM OR SYSTEM TO THE FULL SATISFACTION. FINAL ACCEPTANCE OF THE WORK WILL BE MADE BY THE OWNER AFTER RECEIPT OF APPROVAL AND RECOMMENDATION OF ACCEPTANCE FROM EACH REPRESENTATIVE.

11. THE CONTRACTOR SHALL FURNISH A ONE YEAR WRITTEN GUARANTEE OF MATERIALS AND WORKMANSHIP FROM THE DATE OF SUBSTANTIAL COMPLETION.

12. ALL EQUIPMENT MOUNTED ON ROOF FOR CONNECTION TO PCS EQUIPMENT SHALL BE MOUNTED ON UNISTRUT STANDS UTILIZING APPROVED PITCH POCKETS, FLASHING, ETC.

13. ALL FINAL CONNECTIONS TO OWNER FURNISHED EQUIPMENT SHALL BE MADE BY THE CONTRACTOR.

14. COORDINATE WITH OTHER TRADES AS TO THE EXACT LOCATION OF THEIR RESPECTIVE EQUIPMENT. SUPPLY POWER AND MAKE CONNECTION TO EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS REVIEW THE DRAWINGS OF OTHER TRADES AND LOCATION OF EQUIPMENT.

15. EXACT METHOD AND LOCATION OF CONDUIT PENETRATION AND OPENINGS IN CONCRETE WALLS OR FLOORS OR STRUCTURAL STEEL MEMBERS SHALL BE AS DIRECTED BY THE STRUCTURAL ENGINEER. PERFORM CORING, SAWCUTTING, PATCHING, AND REFINISHING OF EXISTING WALLS AND SURFACES WHEREVER IT IS NECESSARY TO PENETRATE. OPENINGS SHALL BE SEALED IN AN APPROVED METHOD TO MEET THE FIRE RATING OF THE PARTICULAR WALL, FLOOR OR CEILING. EXACT METHOD AND LOCATIONS OF CONDUIT PENETRATIONS AND OPENINGS IN CONCRETE WALLS OR FLOORS SHALL BE U.L. APPROVED. DO NOT CUT OR BREAK ANY EXISTING REINFORCING BARS IN EXISTING CONCRETE OR MASONRY. IF IN DOUBT REGARDING LOCATION OF REINFORCING, THEN CONTRACTOR, AT CONTRACTOR'S EXPENSE, SHALL UTILIZE X-RAY, ULTRA-SOUND OR OTHER AVAILABLE TECHNOLOGY TO LOCATE EXISTING REINFORCEMENTS PRIOR TO DRILLING OR CORING OPERATIONS.

16. CONNECTIONS TO VIBRATING EQUIPMENT AND SEISMIC SEPARATIONS: LIQUID-TIGHT FLEXIBLE STEEL CONDUIT IN DRY INTERIOR LOCATIONS. LIQUID-TIGHT FLEXIBLE STEEL CONDUIT IN AREAS EXPOSED TO WEATHER, DAMP LOCATIONS, CONNECTIONS TO TRANSFORMER ENCLOSURES, AND FINAL CONNECTIONS TO MOTORS. PROVIDE A SEPARATE INSULATED EQUIPMENT GROUNDING CONDUCTOR IN FLEXIBLE CONDUIT RUNS. MAXIMUM LENGTH SHALL BE SIX FEET UNLESS OTHERWISE NOTED.

17. ROUTE EXPOSED CONDUIT AND CONDUIT ABOVE ACCESSIBLE CEILING SPACES PARALLEL AND PERPENDICULAR TO WALLS AND ADJACENT PIPING. ARRANGE CONDUIT TO MAINTAIN HEADROOM AND TO PRESENT A NEAT APPEARANCE

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAWCUTTING, TRENCHING, BACKFILLING, COMPACTION AND PATCHING OF CONCRETE AND ASPHALT AS REQUIRED TO PERFORM THEIR WORK. ATTENTION IS CALLED TO THE FACT THAT THERE ARE EXISTING UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN TRENCHING FOR THEIR WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND APPROVED REPAIR OF ANY AND ALL DAMAGES CAUSED BY HIM OR THEIR WORK.

19. WHENEVER A DISCREPANCY IN QUANTITY OR SIZE OF CONDUIT, WIRE, EQUIPMENT DEVICES, CIRCUIT BREAKERS, GROUND FAULT PROTECTION SYSTEMS, ETC. (ALL MATERIALS), ARISES ON THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIAL AND SERVICES REQUIRED BY THE STRICTEST CONDITIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS TO ENSURE COMPLETE AND OPERABLE SYSTEMS AS REQUIRED BY THE OWNER AND ARCHITECT/ENGINEER.

20. UTILITY PENETRATIONS, OF ANY KIND, IN FIRE AND SMOKE PARTITIONS, NON-RATED CEILINGS, AND/OR NON-RATED WALLS, SHALL BE FIRESTOPPED AND SEALED WITH AN APPROVED MATERIAL SECURELY INSTALLED.

21. STRAIGHT FEEDER, BRANCH CIRCUIT, AND CONDUIT RUNS SHALL BE PROVIDED WITH SUFFICIENT PULL BOXES OR JUNCTION BOXES TO LIMIT THE MAXIMUM LENGTH OF ANY SINGLE CABLE PULL TO 100 FEET. PULL BOXES SHALL BE SIZED PER CODE OR AS INDICATED ON DRAWINGS. LOCATIONS SHALL BE DETERMINED IN THE FIELD OR AS INDICATED ON THE DRAWINGS.

22. MAXIMUM NUMBER OF CONDUCTORS IN OUTLET OR JUNCTION BOXES SHALL CONFORM TO THE CALIFORNIA ELECTRICAL CODE, ARTICLE 370-5.

23. IDENTIFICATION NAMEPLATES SHALL BE MICARTA 1/8 INCH THICK AND OF APPROVED SIZE WITH BEVELED EDGES AND ENGRAVED WHITE LETTERS A MINIMUM OF 1/4 INCH HIGH ON BLACK BACKGROUND. NAMEPLATES SHALL BE PROVIDED FOR ALL CIRCUITS IN THE SERVICE DISTRIBUTION AND POWER DISTRIBUTION SWITCHBOARDS OR PANELBOARDS, DISCONNECTING SWITCHES, TRANSFORMERS, TERMINAL CABINETS, TELEPHONE CABINETS, ETC. ALL NAMEPLATES SHALL BE ATTACHED WITH SCREWS. PULL BOXES, JUNCTION BOXES, AND DEVICE BOXES SHALL BE MARKED WITH A PERMANENT MARKER.

24. THE EXACT LOCATION OF ALL ELECTRICAL DEVICES AND EQUIPMENT SHALL BE COORDINATED WITH THE DETAILS, OR SECTIONS PRIOR TO INSTALLATION.

25. DRAWINGS ARE DIAGRAMMATIC ONLY. ROUTING OF CONDUITS, RACEWAYS, CABLE TRAYS, AND/OR LADDER RACKS SHALL BE AT THE DISCRETION OF THE CONTRACTOR UNLESS OTHERWISE NOTED AND SHALL BE COORDINATED WITH OTHER SECTIONS. DO NOT SCALE THE ELECTRICAL DRAWINGS FOR LOCATIONS OF ANY ELECTRICAL, ARCHITECTURAL, STRUCTURAL, CIVIL OR MECHANICAL ITEMS OR FEATURES.

26. SPECIAL RECEPTACLE FOR CONNECTION TO PORTABLE EMERGENCY GENERATOR WHEN SPECIFIED SHALL BE 200 AMPERE, THREE-WIRE, THREE-POLE, REVERSE SERVICE, PIN AND SLEEVE TYPE WITH MOUNTING BOX. VERIFY TYPE OF EMERGENCY GENERATOR CONNECTION WITH CONSTRUCTION MANAGER.

27. RIGID GALVANIZED STEEL CONDUIT SHALL BE FULL WEIGHT THREADED TYPE. ELECTRICAL METALLIC TUBING (EMT) MAY BE USED IN WALLS OR CEILING SPACES WHERE NOT SUBJECT TO MECHANICAL DAMAGE. PVC SCHEDULE 40 MAY BE INSTALLED BENEATH SLAB OR BELOW GRADE. FLEXIBLE STEEL CONDUIT MAY BE USED AT OUTLET CONNECTIONS WITH NO RUNS LONGER THAN SIX FEET. AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE PROVIDED IN ALL CONDUITS.

28. RIGID GALVANIZED STEEL CONDUIT FITTINGS SHALL BE THREADED AND THOROUGHLY GALVANIZED. ELECTRICAL METALLIC TUBING (EMT) CONDUIT FITTINGS SHALL BE STEEL, RAIN-TIGHT THREADLESS COMPRESSION TYPE. DIE CAST, SET SCREW, OR INDENTER TYPES ARE NOT ACCEPTABLE. FLEXIBLE STEEL CONDUIT FITTINGS SHALL BE MALLEABLE IRON CLAMP, SQUEEZE TYPE OR STEEL TWIST-IN TYPE WITH INSULATED THROAT. SET SCREW TYPE IS NOT ACCEPTABLE.

29. ALL CONDUCTORS SHALL BE COPPER #10 AWG MINIMUM SIZE, TYPE THHN/THWN THERMOPLASTIC, 600 VOLT, 75 DEGREES CELSIUS WET AND 90 DEGREES CELSIUS DRY AND U.L. LISTED UNLESS NOTED OTHERWISE. CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED.

30. JUNCTION AND PULL BOXES: FOR INTERIOR DRY LOCATIONS, BOXES SHALL BE GALVANIZED ONE-PIECE, DRAWN STEEL, KNOCKOUT TYPE WITH REMOVABLE MACHINE SCREW SECURED COVERS. FOR OUTSIDE, DAMP, OR SURFACE LOCATIONS, BOXES SHALL BE HEAVY CAST ALUMINUM OR CAST IRON WITH REMOVABLE, GASKET, NON-FERROUS MACHINE SCREW SECURED COVERS. BOXES SHALL BE SIZED FOR THE NUMBER AND SIZES OF CONDUCTORS AND CONDUIT ENTERING THE BOX AND EQUIPPED WITH PLASTER EXTENSION RINGS WHERE REQUIRED. BOXES SHALL BE LABELED TO INDICATE PANEL AND CIRCUIT NUMBER, OR TYPE OF SIGNAL OR COMMUNICATIONS SYSTEM.

31. ALL OUTDOOR ELECTRICAL DEVICES OR EQUIPMENT SHALL BE OF WEATHERPROOF TYPE.

32. ALL CONNECTIONS TO GROUND BUSES SHALL BE MADE W/CRIMP TYPE COMPRESSION CONNECTORS (2 HOLE LUGS). BUSS SHALL BE DRILLED TO ACCOMMODATE ALL CONNECTORS.

GROUNDING NOTES:

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.

2. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS USING MANUFACTURER'S PRACTICES. ALL UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDS THAT ARE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.

3. ALL GROUND CONNECTIONS SHALL BE #2 AWG U.N.O. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRE SHALL BE TIN COATED OR GREEN INSULATED WIRE.

4. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE TO A RANGE OF 5 TO 10 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE GROUND CONDUCTOR FROM THE ANTENNA TO GROUNDING POINT. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE WIRELESS CARRIER REPRESENTATIVE.

5. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.

6. BARE GROUNDING CONDUCTOR SHALL BE HARD DRAWN TINNED COPPER SIZES AS NOTED ON PLAN.

7. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 30" BELOW GRADE IN TRENCH, U.N.O., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.

8. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.

9. ALL SUPPORT STRUCTURES, CABLE CHANNEL WAYS OR WIRE GUIDES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS "MGB" WITH A MINIMUM NO. 6 TINNED COPPER CONDUCTOR AND (2) 2-HOLE COMPRESSION CONNECTOR AT BUS.

10. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 a. BURNDY, HY-GRADE U.L. LISTED CONNECTORS (MECHANICAL CONNECTIONS)
 b. CADWELD, EXOTHERMIC WELOS (WELDED CONNECTIONS)
 c. TWO -(2) HOLE TINNED COPPER COMPRESSION FITTINGS (BUS BAR CONNECTIONS)

11. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIE-MARK VISIBLE AT THE CRIMP.

12. ALL GROUND CONNECTIONS SHALL BE BURNISHED AND SHALL HAVE A COATING OF "KOPR-SHIELD" OR "NO-OX-ID" APPLIED TO THE CONNECTION.

13. ALL CONNECTION HARDWARE AT EQUIPMENT SHALL BE TYPE 316 SS. OR DURIEUM BRONZE. "KOPR-SHIELD" OR "NO-OX-ID" APPLIED TO THE CONNECTION.

14. THE GROUND RING SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRIP LINE.

15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-B2 AND SHALL BOND ALL EXISTING AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RING IF SERVICE IS WITHIN THE RADIO EQUIPMENT LOCATION, BUILDING STEEL IF APPLICABLE, COLD WATER PIPE WITHIN FIVE FEET OF WATER SERVICE IF APPLICABLE.

ABBREVIATIONS:

AWG	AMERICAN WIRE GAUGE	(N)	NEW
AFC	AVAILABLE FAULT CURRENT	Ø	PHASE
BTCW	BARE TINNED COPPER WIRE	P	POLE
BTS	BASE TRANSMISSION SYSTEM	P.D.C	POINT OF CONNECTION
C	CONDUIT	PVC	POLYVINYL CHLORIDE CONDUIT
CB	CIRCUIT BREAKER	(R)	REPLACE OR REWIRE WITH AS (E)
CO	CONDUIT ONLY	RCS	RIGID GALVANIZED STEEL
DWG	DRAWING	TEL	TELEPHONE
EMT	ELECTRICAL METALLIC TUBING	TYP	TYPICAL
(E)	EXISTING EQUIPMENT	U.G	UNDERGROUND
(F)	FUTURE EQUIPMENT	UNO	UNLESS NOTED OTHERWISE
GEN	GENERATOR	W	WIRE
GFI	GROUND FAULT CIRCUIT INTERRUPTER	WP	WEATHERPROOF EQUIPMENT
GND	GROUND		
KAIC	THOUSAND AMPS INTERRUPTING CAPACITY		
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION		

ABBREVIATIONS

1

SYMBOLS:

- C— GROUNDING WIRE, DASHED LINE INDICATES UNDERGROUND
- E— POWER LINE, DASHED INDICATES UNDERGROUND, 3/4" C-2 #12 & 1 #12 GND, UNO
- T— TELEPHONE LINE, DASHED LINE INDICATES UNDERGROUND
- A— COAXIAL CABLE, DASHED LINE INDICATES UNDERGROUND
- (X) X-X DETAIL REFERENCE DETAIL NO. X ON SHEET X-X
- ⊕ GROUND ROD
- ⊗ GROUND ROD WITH ACCESS
- ⊞ FUSED DISCONNECT SWITCH, 240V, 2P, 30A, WEATHERPROOF, UNO
- ⊚ UTILITY METER
- ⤵ CIRCUIT BREAKER
- ⊞ FUSE
- ⊞ DUPLEX RECEPTACLE WITH GFCI IN WEATHERPROOF ENCLOSURE
- ⊞ SWITCH, 120AC, 20A
 Ⓞ - SWITCH LEG
 M - MANUAL MOTOR STARTER
- CLAMP OR DOUBLE HOLE LUG TYPE GROUND CONNECTION
- EXOTHERMIC CONNECTION (CADWELD) TO GROUND RING AND COMPRESSION CONNECTION TO GROUND HALD

SYMBOLS

2

PLANS PREPARED FOR:

Sprint
 6591 Irvine Center Drive, Suite 100
 Irvine, California 92618

PLANS PREPARED BY:

INFINIGY8
 FROM ZERO TO INFINIGY
 the solutions are endless
 26455 RANCHO PARKWAY SOUTH
 LAKE FOREST, CALIFORNIA 92533
 JOB #448-003

EQUIPMENT MANUFACTURER:

Alcatel-Lucent

CONSULTANT:

SBA

SBA COMMUNICATIONS CORP
 510 GOETZ AVE
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100% CD's	10/11/18	JPC	2

SITE NAME:

OLANCHA

SITE CASCADE:

**SB68XCDQA
 CA20549A**

SITE ADDRESS:

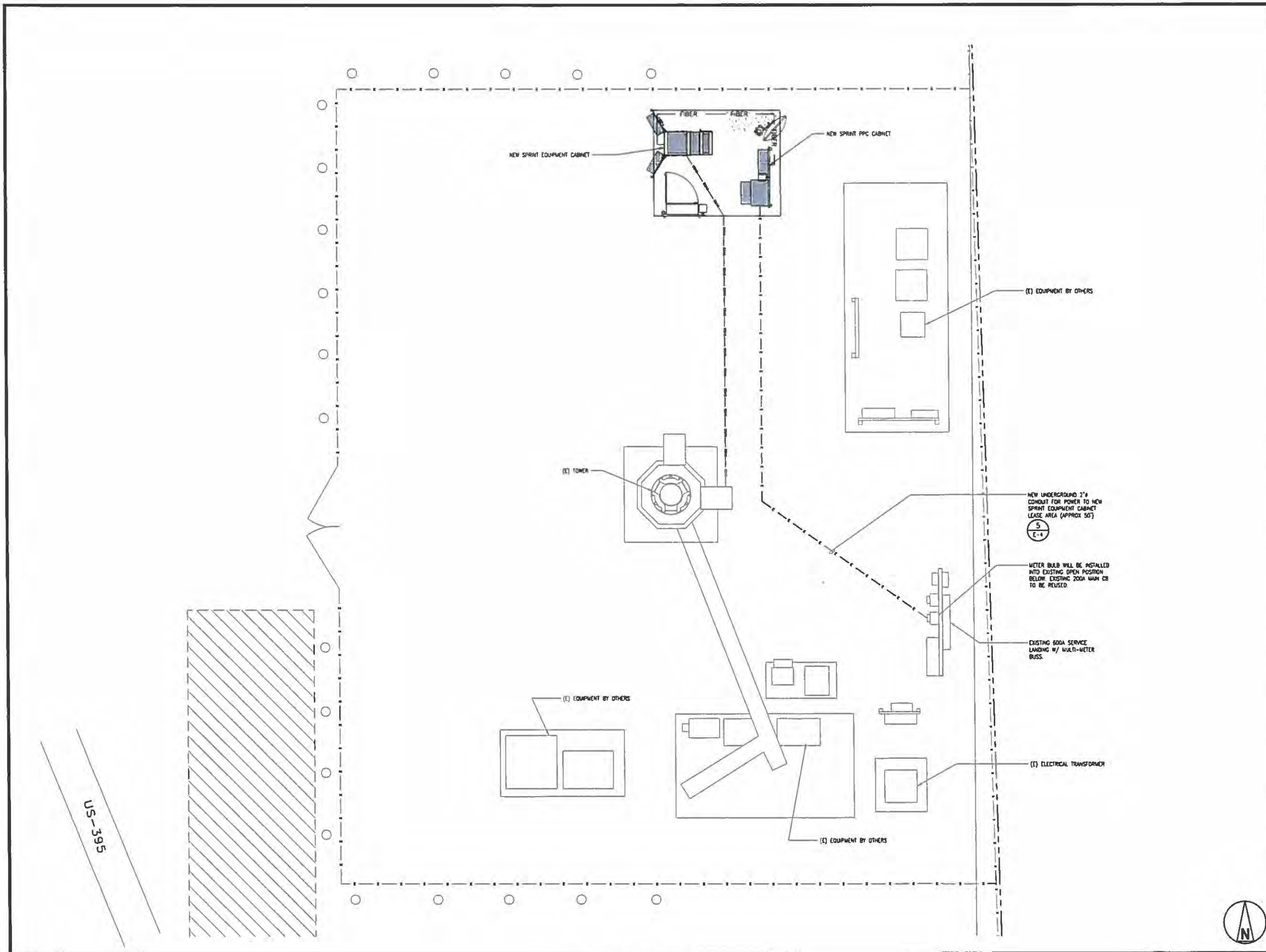
**20 GILL STATION COSO RD.,
 OLANCHA, CA 93549**

SHEET DESCRIPTION:

**ELECTRICAL NOTES
 AND SPECIFICATIONS**

SHEET NUMBER:

EN-1



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 JOB #660-003

EQUIPMENT MANUFACTURER:

Alcatel-Lucent

CONSULTANT:

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**SB68XCDQA
CA20549A**

SITE ADDRESS:

20 GILL STATION COSO RD.,
OLANCHA, CA 93549

SHEET DESCRIPTION:

ELECTRICAL SITE PLAN

SHEET NUMBER:

E-1

ELECTRICAL SITE PLAN

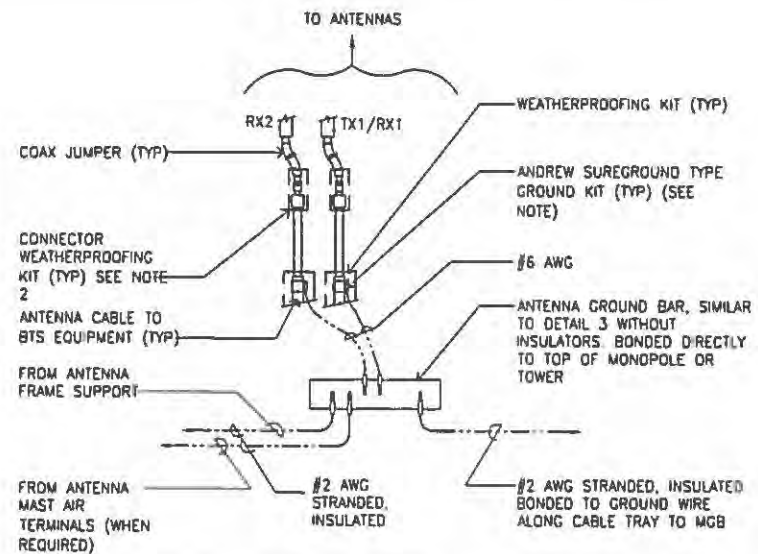
SCALE: 1/4" = 1'-0"

 1

US-395

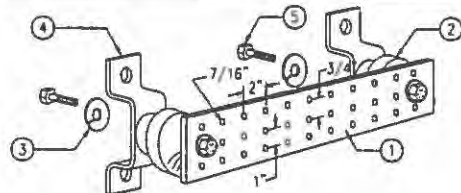
NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
- WEATHER PROOFING SHALL BE ANDREW TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.



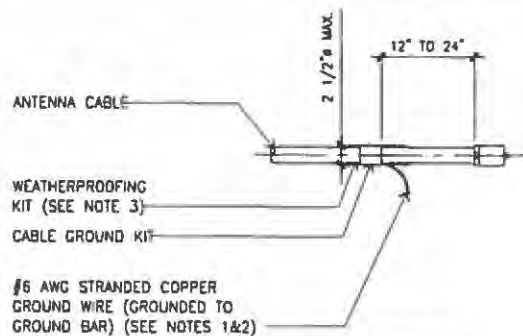
GROUND WIRE TO GROUNDING BAR DETAIL

SCALE N.T.S. 2



LEGEND:

- COPPER GROUND BAR, 1/2" x 4" x 20", NEWTON INSTRUMENT CO. CAT. NO. B-6142 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)
- INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4 OR EQUAL
- 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-B OR EQUAL
- WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-6056 OR EQUAL
- 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1 OR EQUAL
- INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO TOWER/MONOPOLE STRUCTURE. CONNECTION TO TOWER/MONOPOLE STRUCTURE SHALL BE PER MANUFACTURERS RECOMMENDATIONS.



NOTES:

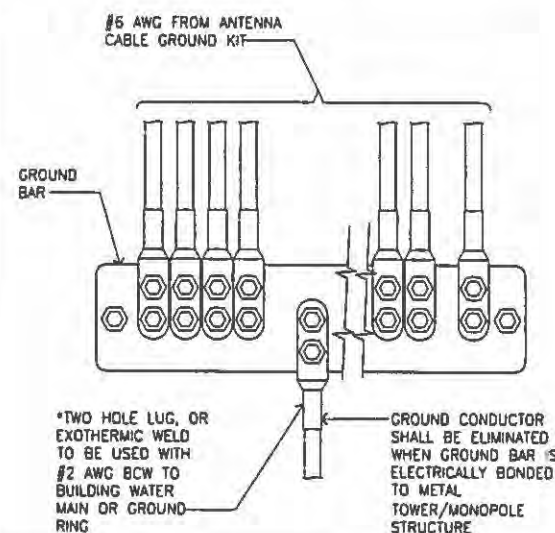
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
- GROUNING KIT SHALL BE ANDREW SUREGROUND TYPE KIT WITH TWO-HOLE LUG.
- WEATHER PROOFING SHALL BE ANDREW TWO-PART TAPE SUPPLIED WITH KIT. COLD SHRINK SHALL NOT BE USED.

ANTENNA CABLE GROUND KIT

SCALE N.T.S. 3

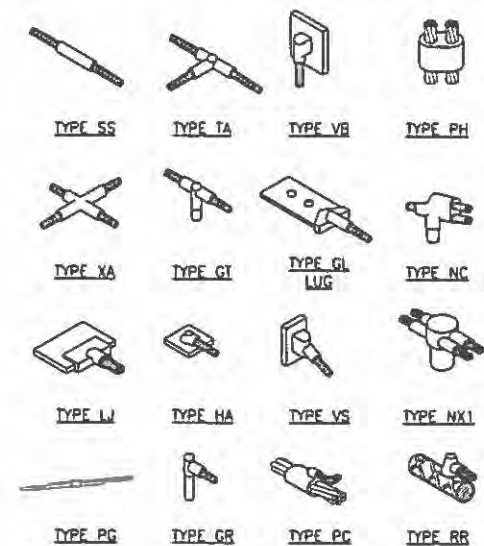
GROUND BAR DETAIL

SCALE N.T.S. 5



GROUND WIRE DETAIL

SCALE N.T.S. 6



CADWELD CONNECTIONS

SCALE N.T.S. 4

KEYNOTES

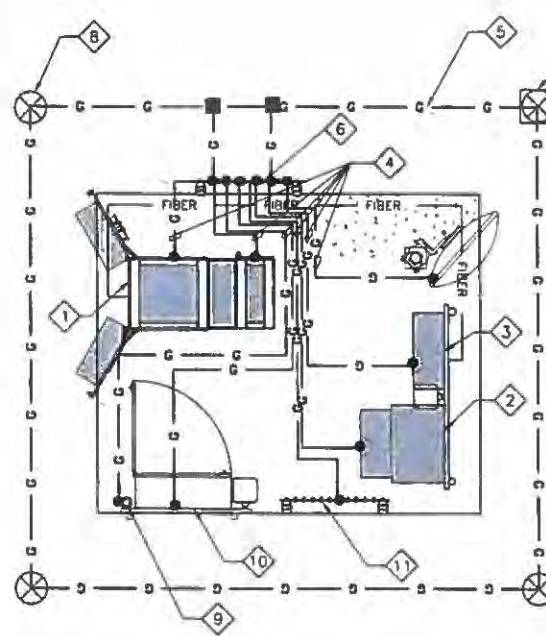
- 1 (N) EQUIPMENT CABINET
- 2 (N) TELCO CABINET
- 3 (N) POWER CABINET
- 4 AWG #2 INSULATED COPPER GROUND WIRE
- 5 GROUND RING #2 AWG BCW
- 6 MASTER GROUND BUS BAR
- 7 GROUND ROD TEST WELL
- 8 COPPER CLAD STEEL GROUND ROD (TYP)
- 9 NEW GPS ANTENNA
- 10 NEW FIBER DIST. CABINET
- 11 ANTENNA GROUND BUS BAR AT LEASE AREA

LEGEND

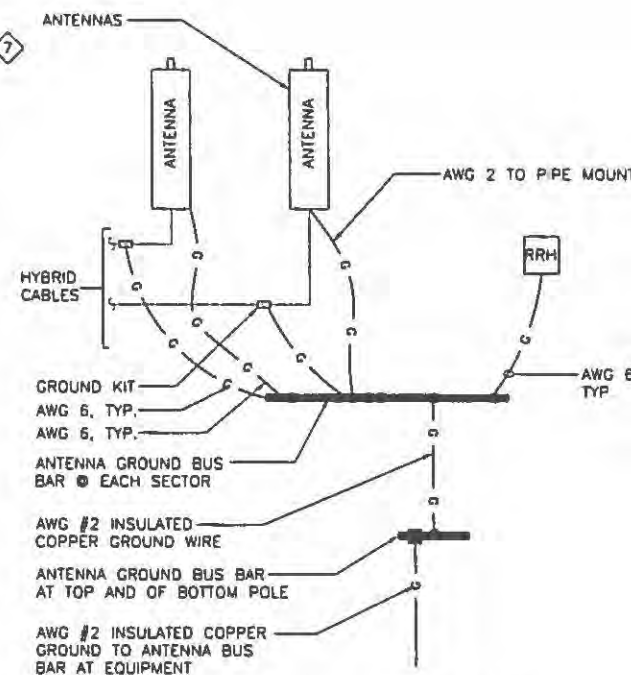
- MECHANICAL CONNECTION
- EXOTHERMIC WELD (CADWELD/THERMOWELD) CONNECTION
- ⊗ 5/8" x 10'-0" COPPER, OR COPPER CLAD STEEL GROUND ROD AT 10'-0" O.C. (MAX)
- ⊗ GROUND ROD TEST WELL
- G- #2 AWG INSULATED, COPPER WIRE (UNLESS OTHERWISE SPECIFIED)
- S.O.H. S.O.H. SECONDARY OVERHEAD

GENERAL NOTES:

- PLAN DRAWINGS SHOWN HEREIN ARE DIAGRAMMATIC AND DOES NOT NECESSARILY DEPICT THE EXACT EQUIPMENT QUANTITIES, LOCATION, LAYOUT AND CONFIGURATION. REFER TO ARCHITECTURAL PLANS FOR EXACT EQUIPMENT LOCATION, LAYOUT AND CONFIGURATION.
- PLAN DRAWINGS SHOWN HEREIN DO SHOW THE NECESSARILY DEPICT ELECTRICAL REQUIREMENTS OF INDIVIDUAL EQUIPMENT AND DEVICES SUCH AS THE EQUIPMENT GROUNDING REQUIREMENTS, POWER REQUIREMENTS AND TELCO RACEWAY REQUIREMENTS
- REFER TO ARCHITECTURAL PLANS FOR THE LOCATION OF POWER AND TELCO POINT OF CONNECTIONS, THE DISTANCE OF THE RUN AND THE SUGGESTED CONDUIT ROUTING. FIELD VERIFY EXISTING CONDITIONS SPECIFICALLY FOR CONDUIT ROUTING PRIOR TO BID



EQUIPMENT GROUNDING PLAN



ANTENNA GROUNDING DIAGRAM

GROUNDING PLAN

SCALE 3/8"=1'-0" 0 1' 2' 4' 1

PLANS PREPARED FOR



PLANS PREPARED BY



EQUIPMENT MANUFACTURER



CONSULTANT



SBA COMMUNICATIONS CORP, 510 GOETZ AVE, SANTA ANA, CA 92707

ENGINEERING LICENSE:



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OLANCHA

SITE CASCADE:

SB68XCDQA
CA20549A

SITE ADDRESS:

20 GILL STATION COSO RD.,
OLANCHA, CA 93549

SHEET DESCRIPTION:

GROUNDING PLAN
AND DETAILS

SHEET NUMBER:

E-2

PANEL 'A'

120/240V, 1Ø, 200A, 65KAIC
 MAIN CB : 2P/200A, TYPE KG
 BRANCH CBS : TYPE QO, QOB

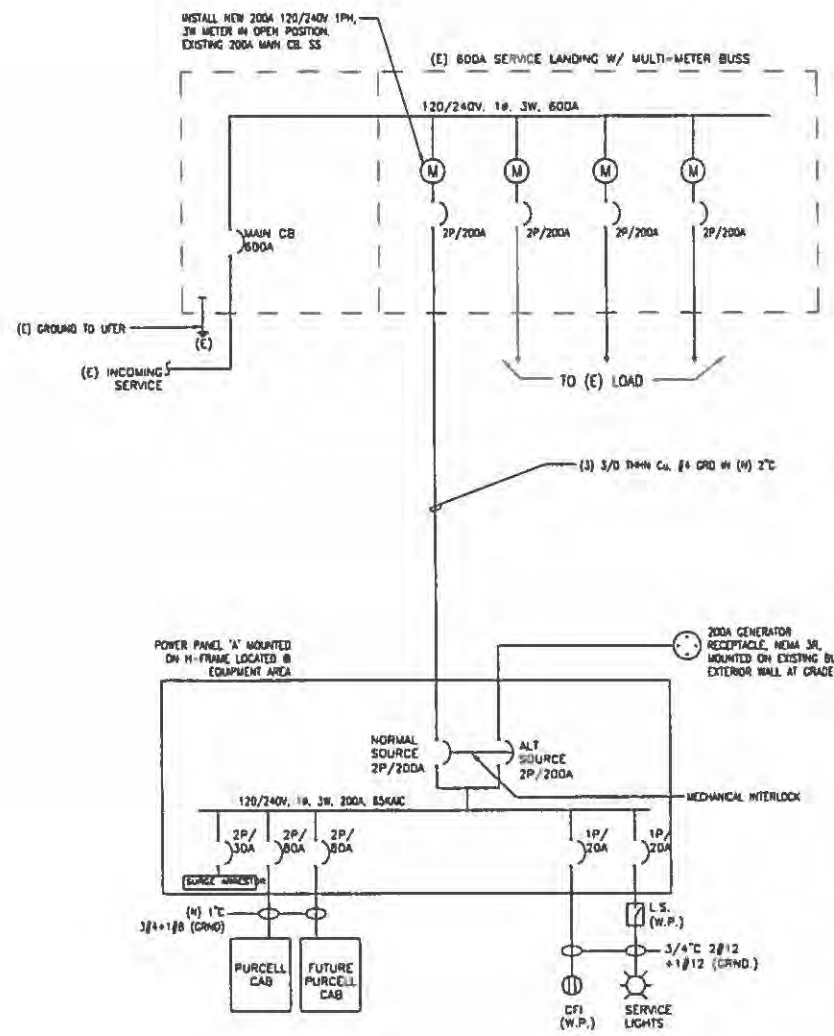
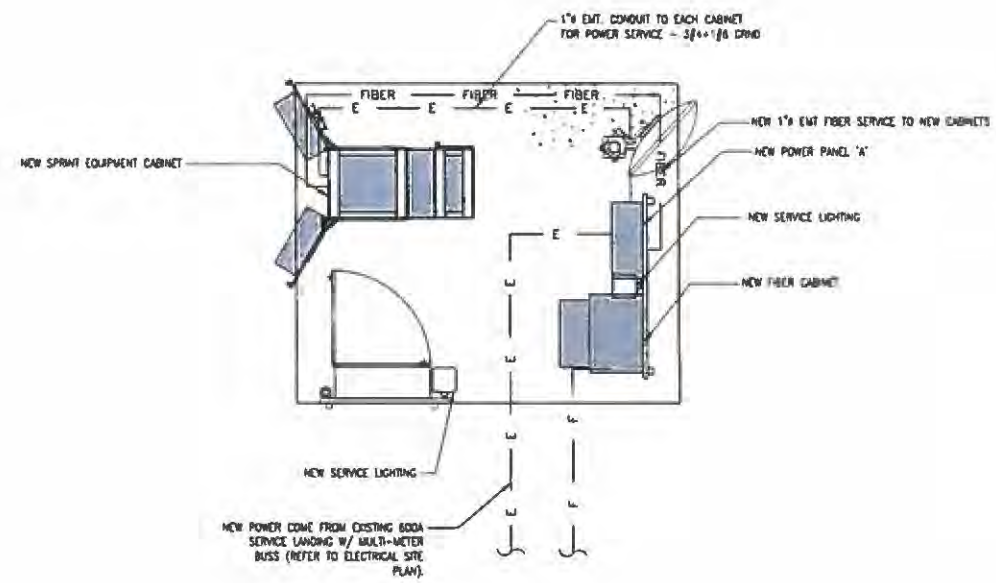
MOUNTING : SURFACE
 NEMA : 3R
 LOCATION : LEASE AREA

VOLT AMPS		DESCRIPTION	P A S E	B K R	C I R	C I R	B K R	P O L	DESCRIPTION	VOLT AMPS			
PHASE A	PHASE B									PHASE A	PHASE B		
7000	7000	PURCELL	2	80	1			2	30	2	SURGE SUPPRESSOR	-	-
								4					
7000		FUTURE PURCELL	2	80	5			6	20	1	GFI	180	
								8	20	1	SERVICE LIGHT		600
1200		ANCILLARY	1	20	9			10	20	1	SPARE		
		SPACE						12	20	1	SPARE		
								14			SPACE		
								16					
								18					
								20					
								22					
								24					
15200	14,000											180	500
PHASE A = 15,380		VA/LINE										PHASE B = 14,600	
TOTAL CONNECTED LOAD = 29,980 VA													
TOTAL DESIGN AMP = 124.8A													

SQUARE D, MOOD SERIES RATINGS, OR EQUAL WITH MINIMUM OF 42 KAC
 CONTRACTOR TO PROVIDE A WARNING LABEL STATING "CAUTION: SERIES RATED SYSTEM 65KA AVAILABLE. IDENTIFY REPLACEMENT COMPONENT REQUIRED"

PANEL SCHEDULE

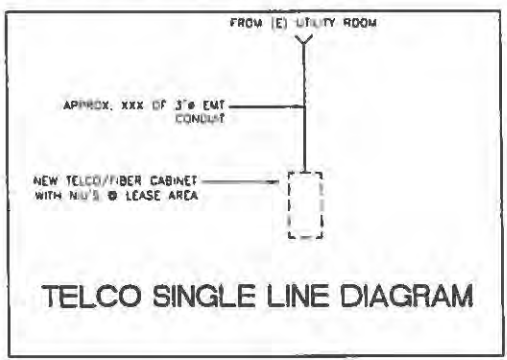
2



POWER SINGLE LINE DIAGRAM

- SINGLE LINE DIAGRAM NOTES:**
- MAXIMUM AVAILABLE FAULT SERVING UTILITY COMPANY'S STANDARD INDICATES THAT THE MAXIMUM AVAILABLE FAULT WILL NOT EXCEED 42 KA. CONTRACTOR IS REQUIRED TO VERIFY THE ACTUAL AVAILABLE FAULT AT THE TIME OF CONSTRUCTION WITH SERVING UTILITY CO.
 - ALL CURRENT CARRYING DEVICES SHALL BE U.L. LISTED AND BRACED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT AT ITS TERMINALS.
 - SERIES/COMBINATION SHORT CIRCUIT RATINGS MAY BE USED WHEN OVERCURRENT DEVICE COMBINATIONS ARE LISTED UNDER U.L. 87 STANDARD AND INSTALLATION SHALL COMPLY WITH NATIONAL ELECTRICAL CODE (NEC) ARTICLE 110-9, 110-22 AND OTHER APPLICABLE SECTIONS.
 - APPLICABLE SERIES/COMBINATION RATED EQUIPMENT ENCLOSURES SHALL BE CLEARLY MARKED "CAUTION - SERIES RATED SYSTEM" IN COMPLIANCE WITH 2018 NEC SECTION 110-22 END-USE EQUIPMENT SHALL ALSO BE MARKED WITH THE HIGHER SERIES COMBINATION INTERRUPTING RATING AS PER 2018 NEC AND 2018 CEC.
 - POWER TO EQUIPMENT SHALL BE 200A, 240V, 1Ø, 3Ø, OR 2Ø8 VOLTS
 - PROVIDE A MIN. 36" WORK CLEARANCE IN FRONT OF PANELS/ELECTRICAL EQUIPMENT
 - ALL WIRING SHALL BE COPPER TYPE THHN/THWN RATED FOR 75° C.
 - CONDUIT REQUIREMENTS (TYP. U.M.O.): UNDERGROUND: PVC (SCHED. 40 OR 80) INDOOR; EMT (RCS IN TRAFFIC AREAS) OUTDOOR (ABOVE GRADE); RCS (ADJUST CONDUIT FILL FOR SCHEDULE 80 PVC CONDUITS)
 - CABINET CIRCUIT BREAKERS TO BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR.
 - PROVIDE A WHITE PHONETIC SIGN WITH 3/4" RED ENGRAVED LETTERING AT GENERATOR RECEPTACLE THAT READS "DISCONNECT GROUND TO NEUTRAL BONDING AT THE PORTABLE EMERGENCY GENERATOR PRIOR TO ENERGIZING"
 - DO NOT INSTALL THE OPTIONAL NEUTRAL TO GROUND BONDING JUMPER PROVIDED WITH THE PPC. PPC SHALL NOT BE USED AS THE MAIN SERVICE EQUIPMENT (PER SPRINT STANDARD)
 - SPRINT REQUIRES A MAIN SERVICE RATED BREAKER IN ALL METER BOXES

NOTE:
 1. CONTRACTOR TO REMOVE THE MAIN BONDING @ THE GENERATOR PRIOR TO ENERGIZING THE EMERGENCY SYSTEM
 2. CONTRACTOR TO PLACE ARC FLASH LABELING REQUIRED BY THE 2018 CEC



PLANS PREPARED FOR:

Sprint

6591 Irvine Center Drive, Suite 100
 Irvine, California 92618

PLANS PREPARED BY:

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 LAKE FOREST, CALIFORNIA 92630
 JOB #440-003

EQUIPMENT MANUFACTURER:

Alcatel-Lucent

CONSULTANT:

SBA

SBA COMMUNICATIONS CORP.
 510 GOETZ AVE
 SANTA ANA, CA 92701

ENGINEERING LICENSE:

REGISTERED PROFESSIONAL ENGINEER
 LIMITED SIGNAL COVER
 No. 42005
 Exp. 12/31/19
 CIVIL
 STATE OF CALIFORNIA

Paul Cellitt

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100% CD's	10/11/18	JPC	2

SITE NAME:

OLANCHA

SITE CASCADE:

**SB68XCDQA
 CA20549A**

SITE ADDRESS:

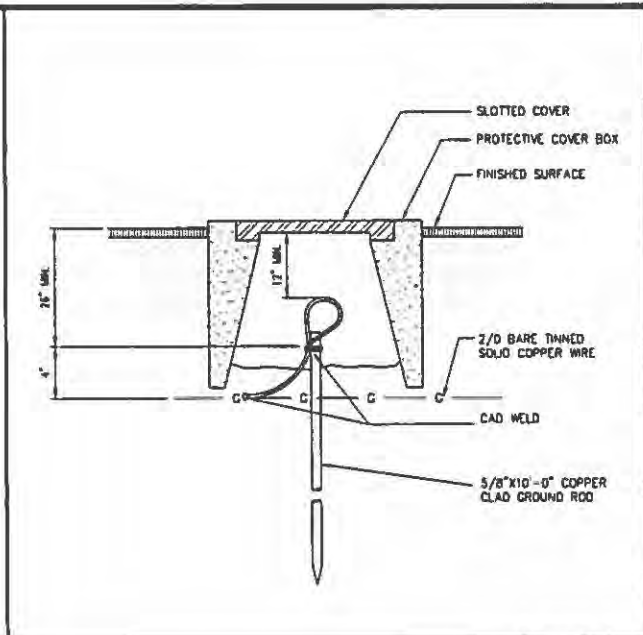
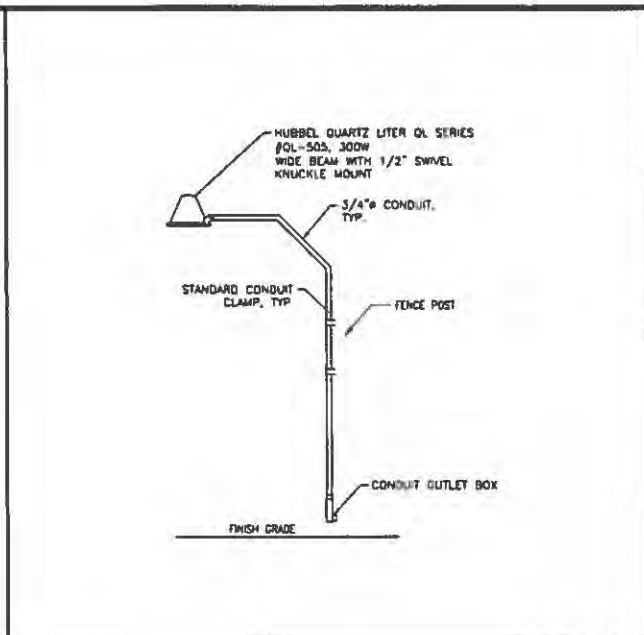
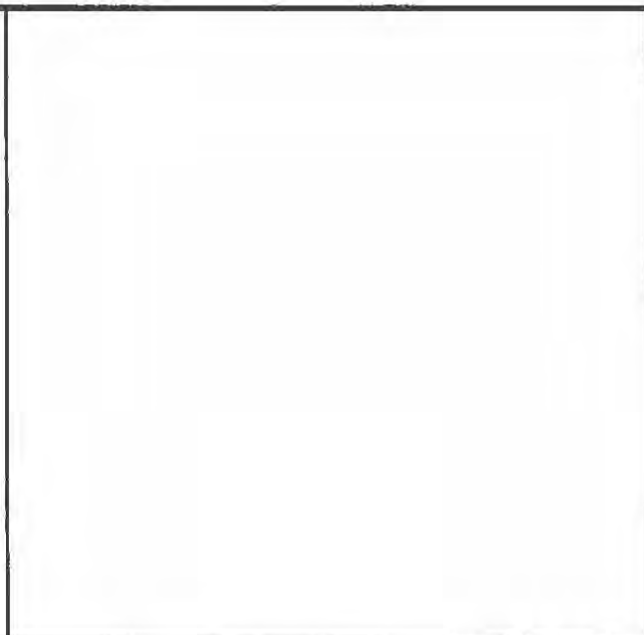
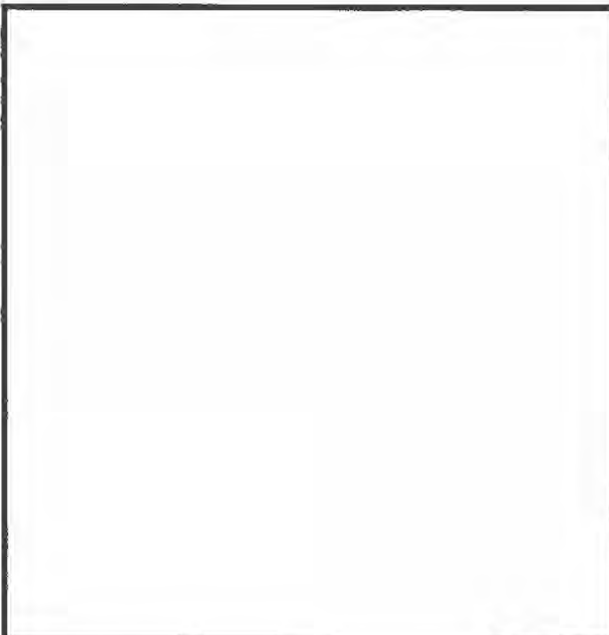
20 GILL STATION COSO RD.,
 OLANCHA, CA 93549

SHEET DESCRIPTION:

**ELECTRICAL PLAN &
 SINGLE LINE DIAGRAM**

SHEET NUMBER:

E-3



NOT USED

SCALE N.T.S. 10

NOT USED

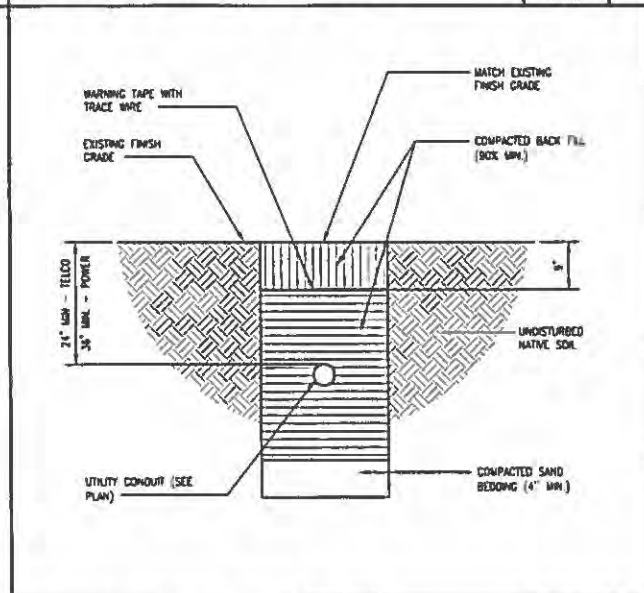
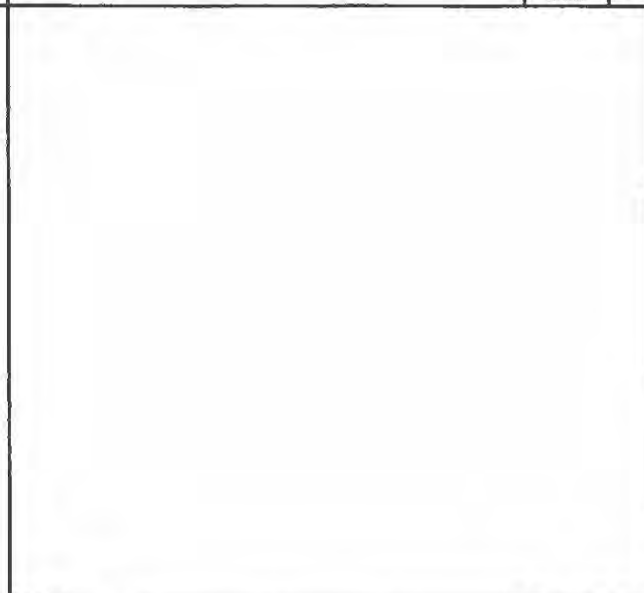
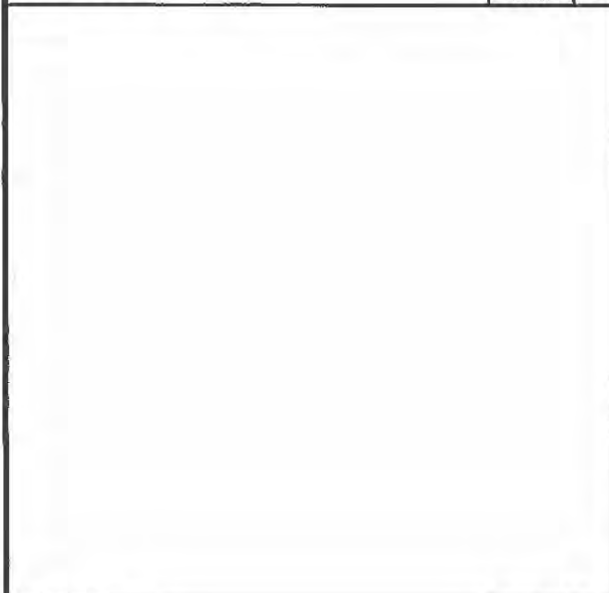
SCALE N.T.S. 7

SERVICE LIGHT MOUNTING DETAIL

SCALE N.T.S. 4

GROUND ROD TEST WELL

SCALE N.T.S. 1



NOT USED

SCALE N.T.S. 11

NOT USED

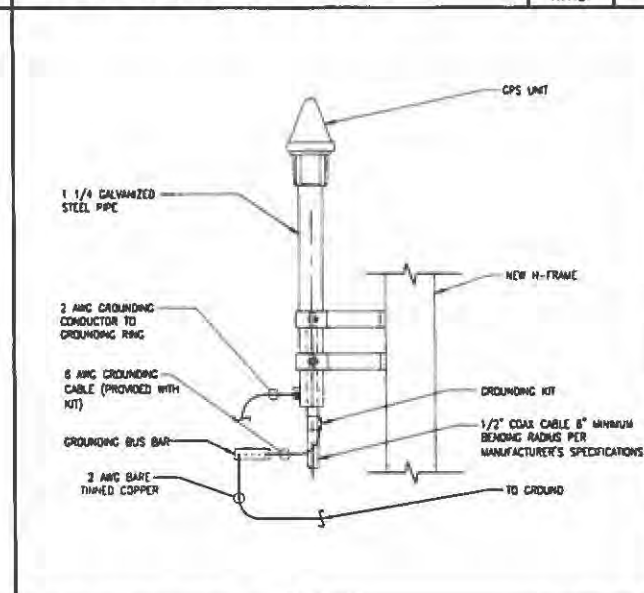
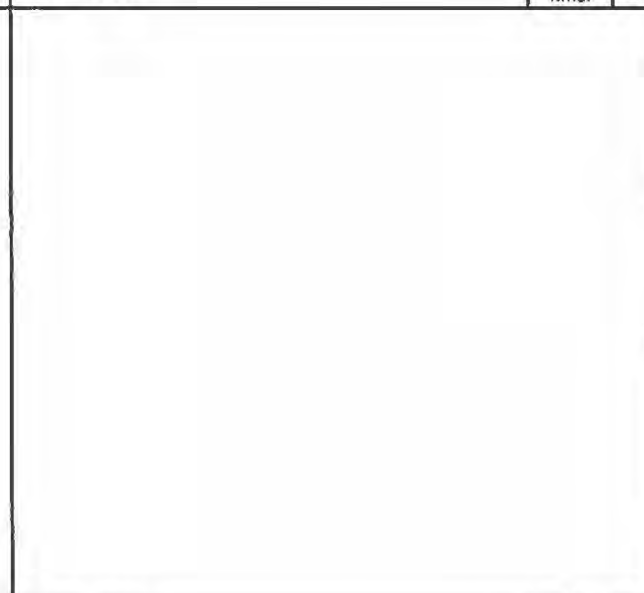
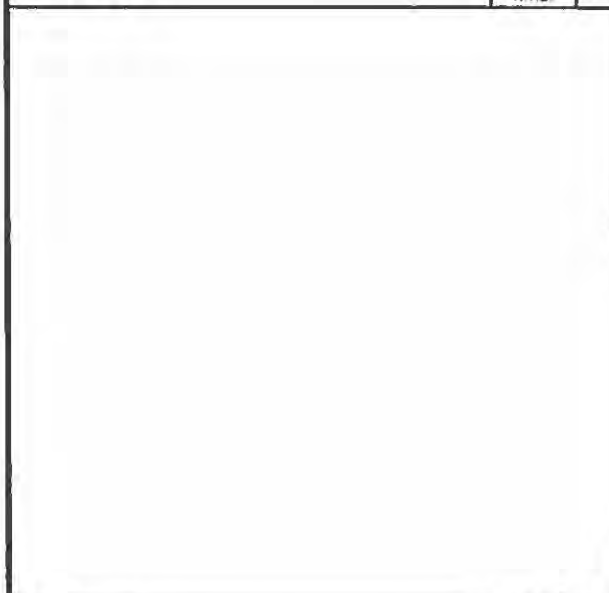
SCALE N.T.S. 8

POWER CONDUIT TRENCH DETAIL

SCALE N.T.S. 5

GROUND ROD

SCALE N.T.S. 2



NOT USED

SCALE N.T.S. 12

NOT USED

SCALE N.T.S. 9

GPS GROUNDING

SCALE N.T.S. 6

NOT USED

SCALE N.T.S. 3

PLANS PREPARED FOR:

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Irvine, California 92618

PLANS PREPARED BY:

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LAKE FOREST, CALIFORNIA 92630
JOB #648-003

EQUIPMENT MANUFACTURER:

CONSULTANT:

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SITE NAME:

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SITE CASCADE:

**SB68XCDQA
CA20549A**

SITE ADDRESS:

**20 GILL STATION COSO RD.,
OLANCHA, CA 93549**

SHEET DESCRIPTION:

**ELECTRICAL
DETAILS**

SHEET NUMBER:

E-4



Planning Department
168 North Edwards Street
Post Office Drawer L
Independence, California 93526

Phone: (760) 878-0263
FAX: (760) 878-0382
E-Mail: inyoplanning@inyocounty.us

AGENDA ITEM NO.: 10 (Action Item – Public Hearing)

PLANNING COMMISSION MEETING DATE: March 29, 2019

SUBJECT: Variance #2019-01/Starrenburg

EXECUTIVE SUMMARY

An application for a variance for a single-family dwelling to encroach 9-feet into the required 20-foot side yard setback for a property zoned Rural Residential (RR) that is located at 557 Sunset Drive, in the Alabama Hills, Lone Pine.

PROJECT INFORMATION.

Supervisory District: 5

Project Applicant: Joost van Starrenburg, 557 Sunset Drive, Lone Pine

Property Owner: Joost van Starrenburg, 557 Sunset Drive, Lone Pine

Site Address/

Community: 557 Sunset Drive, Lone Pine

A.P.N.: 026-320-04

General Plan: Residential Rural Medium Density (RRM)

Zoning: Rural Residential, Two and a Half Acre Minimum (RR-2.5)

Size of Parcel: Approximately 2-Acres

Surrounding Land Use:

Location	Use	General Plan Designation	Zone
Site	Vacant/open	Rural Residential Medium Density (RRM)	Rural Residential 2.5 – acre minimum (RR-2.5)
North	Vacant/open	Rural Residential Medium Density (RRM)	Rural Residential 2.5 – acre minimum (RR-2.5)
East	Vacant/open	Rural Residential Medium Density (RRM)	Rural Residential 2.5 – acre minimum (RR-2.5)
South	Developed - Single family residence	Rural Residential High Density (RRH), 1 du/acre	Rural Residential (RR), 1-acre minimum lot size
West	Vacant/open	Rural Residential Medium Density (RRM)	Rural Residential 2.5 – acre minimum (RR-2.5)

Staff Recommended Action:

1.) Approve Variance 2019-01/Starrenburg with the Findings and Conditions as provided for in the staff report and certify that it is Exempt under California Environmental Quality Act (CEQA).

Alternatives:

- 1.) Deny the Variance.
- 2.) Approve the Variance with additional Conditions of Approval.
- 3.) Continue the public hearing to a future date, and provide specific direction to staff regarding what additional information and analysis is needed.

Project Planner:

Cathreen Richards

STAFF ANALYSIS

Variance Request & Site Characteristics

Joost van Starrenburg owns a 2-acre parcel located at 557 Sunset Drive in the Alabama Hills community. The available building area of this parcel is constrained by unique rock formations found in the Alabama Hills as well as large areas of underground rocks. The project site has been designed to build around the rocks necessitating the variance. The proposed parcel is currently undeveloped and under the 2.5-acre minimum required in the RR-2.5 Zone. Substandard parcel sizes do not prohibit development as long as setback requirements can be met. Development surrounding the parcel is intermittent and there is no development located to the north, east or west of the proposed project. There is one single family dwelling across the street (Sunset Drive) to the southeast.

All of the parcels surrounding the proposed project parcel are zoned RR-2.5 and all of those that are located to the east do not meet the 2.5-acre requirement. The RR zone requires the following setbacks:

- Front: 50 feet
- Rear: 30 feet
- Side: 20 feet

in addition, the RR zoning requires a minimum lot width of 125-feet. The project parcel easily meets 125-foot requirement with a lot width of 200-feet. The parcel slopes up to the north at about an 11% grade and there are large rock formations at the south center that runs east to west and another formation covering the north quarter of the property. There is also an area of smaller rocks on the surface and below ground that spread between the two larger formations that covers the area between the proposed single-family dwelling and office sites. These areas of rock and rock formations limit the building area. A high water table, along with septic tank and leech field area requirements, also eliminates the flat south end of the parcel for building as it is the only location on the property free enough of rock to site the septic system. The building area selected by the applicant is the most logical place on the parcel where the building can occur without the removal of large iconic rock formations or a sizable area of underground rocks. The proposed single-family dwelling encroaching into the side yard set back by approx. 9-feet results in an 11-foot side yard setback. An accessory building (office) is also proposed for the parcel, it meets all setback requirements (site plan attached).

Picture of property looking south to north



Map of Parcel with aerial photo



Vicinity Map



Previous Variance History

No prior variances have been applied for regarding this property.

Provision for Variances

The Inyo County Zoning Ordinance states that any variance to the terms of the Zoning Ordinance may be granted if such a variance would “*not be contrary to its general intent or the public interest, where due to special conditions or exceptional characteristics of the property or its location or surroundings, a literal enforcement would result in practical difficulties or unnecessary hardships*” (Section 18.81.040).

Further, the Zoning Ordinance states that the following three Findings must be affirmed in order for any variance to be granted:

1. That there are exceptional circumstances applicable to the property involved, or to the intended use, which do not generally apply to other property in the same district.
2. That the result would not be detrimental to the public welfare, or injurious to property in the vicinity.

3. That the strict application of the regulation sought to be modified would result in practical difficulties or hardships inconsistent with, and not necessary for the attainment of, the general purposes of this title.

In addition to the above Findings specified in the Inyo County Zoning Ordinance, California State Government Code requires the following Findings for any variance:

4. The proposed variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated.
5. The proposed variance does not authorize a use or activity that is not otherwise expressly authorized by the zoning regulation governing the parcel of property.
6. The proposed variance is consistent with the General Plan.
7. The requirements of the California Environmental Quality Act have been met.

Affirmative variance Findings must describe the special circumstances that act to physically differentiate the project site from its neighbors and make it unique, and thus uniquely justified for a variance; alternatively, negative findings must describe how the project's physical characteristics are not unique or exceptional, and therefore do not justify a variance.

ALL seven of the Findings must be affirmed in order for a variance to be approved.

ENVIRONMENTAL REVIEW

This project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under the Class 3 exemption, 15303 "New Construction or Conversion of Small Structures (a) One single-family residence, or a second dwelling unit in a residential zone."

NOTICING REQUIREMENTS

The project was noticed for a Public Hearing in the Inyo Register ten days in advance, on May 18, 2019 and notices were mailed to all property owners within 300-ft of the proposed project. No comments have been received by staff as of the date of this staff report.

RECOMMENDATIONS

Approve Variance 2019-01/Starrenburg with the Findings and Conditions as provided for in this staff report and certify that it is Exempt under CEQA.

Findings

Staff has reviewed this application and can find that all seven of the required Findings can be affirmed:

1. That there are exceptional circumstances applicable to the property involved, or to the intended use, which do not generally apply to other property in the same district.

(Affirmative – Evidence: The property is zoned Rural Residential (RR), which requires a 2.5-acre minimum; a minimum width of 125-feet; and, a front yard setback of 50-feet, rear yard of 30-feet and side yards of 20-feet. The loss of buildable area on this parcel is due to iconic rock formations and large areas of underground rocks that reduce the buildable area by about 1/3. This along with the logistics of siting the septic system and leech field in the flat area at the front of the property at a higher elevation than the well has made it difficult for the owner to design the site in relation to the RR setback requirements. The other properties in the area have the same type rock formations, but they are less spread out and cover less of the overall area than the rocks on the proposed project parcel. Finding a way to configure the single-family home and accessory structure posed exceptional circumstances that made developing the property nearly impossible without an encroachment into one of the setbacks.)

2. That the result would not be detrimental to the public welfare, or injurious to property in the vicinity.

(Affirmative – Evidence: Approving this variance will allow for a single-family dwelling to encroach into a side yard setback by 9-feet. Currently there is no development on either side of the proposed parcel and the side setback encroachment would not affect the ability of the surrounding parcels to be developed. It will also not affect the views from the developed parcels located to the east. The encroachment also will not cause a situation that could be considered detrimental to the public welfare as any development subsequent to the variance approval will be required to follow all building and safety, waste disposal and water regulations per the State and County. The variance request to encroach into the side yard setback is also not allowing for activities that are unusual to the surrounding neighborhood since all existing development in the area is made up of single-family dwellings.)

3. That the strict application of the regulation sought to be modified would result in practical difficulties or hardships inconsistent with, and not necessary for the attainment of, the general purposes of this title.

(Affirmative – Evidence: The proposed project site area is constricted by iconic rock formations and large areas of underground rocks common to the Alabama Hills causing its buildable area to be severely limited with regard to development. These factors create difficulties/hardships in meeting the required setback requirements for the RR zone. Granting a variance to encroach 9-feet into the side yard setback would still allow the general purposes of Title 18.21 of the Zoning Code to be fulfilled, as the encroachment would not change the low-density, single-family, rural, residential character or use of the property.)

4. The proposed variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated.

(Affirmative – Evidence: The project site is non-conforming with respect to area and its buildable space is severely limited by large iconic rock formations. The applicant has designed the site so as not to disrupt the rock formations and avoid areas where highly disruptive rock removal would be necessary or where the required septic and leech fields must be located. All of the parcels located to the east of the proposed variance also do not meet the 2.5-acre minimum lot requirement and those that are developed do not have the extent of area covered by rock as the proposed project parcel does. For all of these reasons, the requested variance to encroach into the side yard setback cannot be said to constitute a grant of special privileges. It would, instead, allow the property owner the ability to use the property in the same manner as the other properties in the vicinity.)

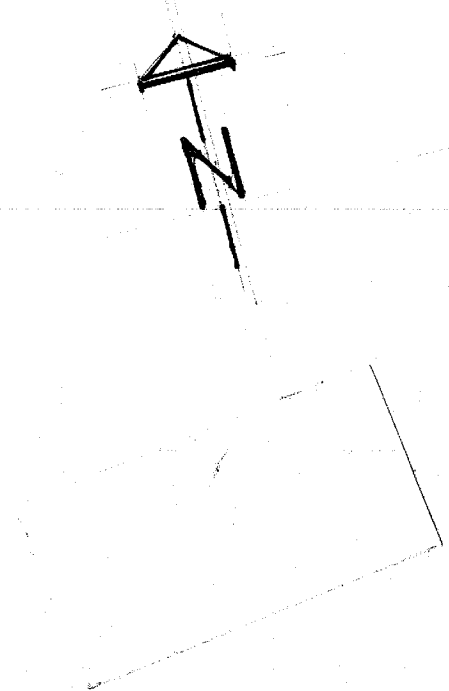
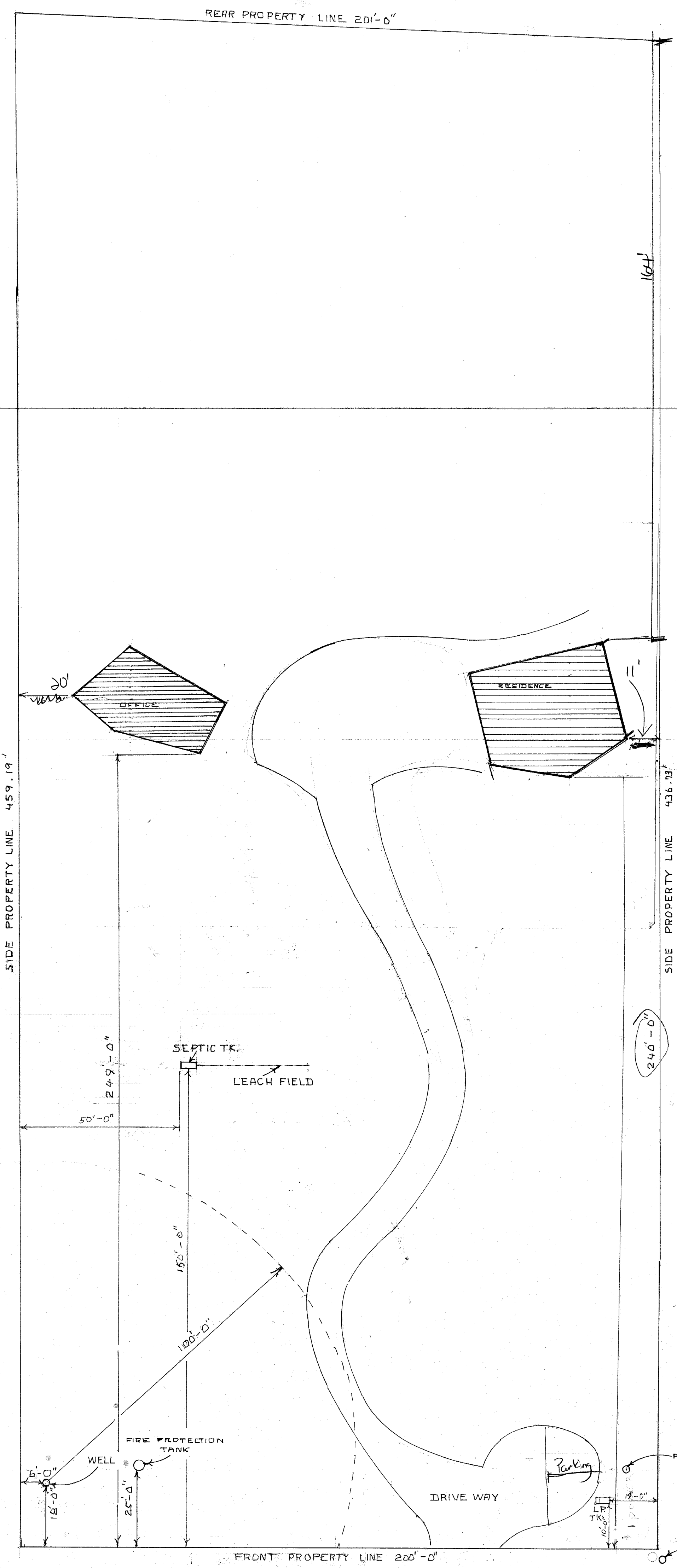
5. The proposed variance does not authorize a use or activity that is not otherwise expressly authorized by the zoning regulation governing the parcel of property.
(Affirmative – Evidence: The proposed variance applies to side yard setback requirements. The proposed low-density residential use and accessory structure are permitted out right in the RR Zone.)

6. The proposed variance is consistent with the Inyo County General Plan
(Affirmative – Evidence: The requested variance presents no inconsistencies with the General Plan land use designation of the project site, which is Rural Residential Medium Density (RRM) a single-family landuse designation.

7. The requirements of the California Environmental Quality Act have been met.
(Affirmative – Evidence: The requested variance is not subject to the provisions of CEQA, being categorically exempt under Class 3 15303(a).)

Conditions of Approval

- 1.) Hold Harmless: the applicant, landowner, and/or operator shall defend, indemnify and hold harmless Inyo County, its agents, officers and employees from any claim, action, or proceeding against the County, its advisory agencies, appeal boards, or its legislative body concerning Variance #2019-01/Starrenburg or applicant's failure to comply with conditions of approval.
- 2.) The applicant/developer shall conform to all applicable provisions of Inyo County Code including the Building and Safety Code and the Health and Safety Code.



JOOST VAN STARRENBURG
 557 SUNSET DR. ALABAMA HILLS
 CA.
 LOT - 4
 APN 026-320-04
 SCALE 3/64 = ONE FOOT

PLOT PLAN